



Community Development

Planning & Zoning, Building Inspections,
Business Licensing, and CDBG Administration

MEETING NOTICE OF THE CLEARFIELD CITY PLANNING COMMISSION

Notice is hereby given that the Clearfield City Planning Commission will hold a regularly scheduled meeting at **7:00 P.M., Wednesday, June 4, 2014** on the 3rd floor in the **City Council Chambers** of the Clearfield City Municipal Building, 55 S. State, Clearfield, Utah.

7:00 PM CALL TO ORDER-- PLEDGE OF ALLEGIANCE

1. ROLL CALL
2. APPROVAL OF THE AGENDA
(Items may be removed, continued to a later date, or addressed out of sequence)
3. APPROVAL OF MINUTES
A. May 7, 2014

SCHEDULED ITEMS:

4. Discussion and Possible Action on **SP 1405-0001**: a request by Lifetime Products for Site Plan to consider the addition of an exterior Silo to hold material for the manufacturing process, located at Building B-12 Freeport Center (TIN: 12-065-0055). The property lies in the Manufacturing (M-1) zoning district.
5. Discussion and Possible Action on **SP 1405-0002**: a request by Dan Thompson for Site Plan to consider change of use from commercial to a church within an existing structure, located at 225 N. Main Street (TIN: 12-020-0048). The property is approximately 0.22 acres and lies in the Commercial (C-2) zoning district.
6. Discussion and Possible Action on **SP 1405-0004**: a request by Jennmar for Site Plan to consider additional parking area, located at 155 E. 550 S. (TIN: 12-003-0164). The property is approximately 5.7 acres and lies in the Manufacturing (M-1) zoning district.
7. Discussion and Possible Action on **SP 1405-0005**: a request by Russ Naylor on behalf of Taco Bell for Site Plan to consider exterior modification to an existing building, located at 632 N. Main Street (TIN: 14-094-0062). The property is approximately 0.62 acres and lies in the Commercial (C-2) zoning district.

PUBLIC HEARINGS:

8. Public Hearing, Discussion and Possible Action on **CUP 1405-0002**: a request by Dan Thompson for Conditional Use Permit for a church within an existing structure, located at 225

N. Main Street (TIN: 12-020-0048). The property is approximately 0.22 acres and lies in the Commercial (C-2) zoning district.

9. Public Hearing, Discussion and Possible Action on **FSP 1405-0003**: A request by Michael Christensen, on behalf of Thackeray Company's, for a Final Subdivision Plat review for Phase 1 on an approved Mixed-Use Development on approximately 70 acres located at 1250 S. State Street (TIN: 12-066-0071, 12-067-0139).
10. Public Hearing, Discussion and Possible Action on **ZTA 1404-0001**: Zoning Text Amendment to Title 11, C-1 and C-2 Commercial Parking Regulations and Definition, to better define Commercial Parking Lots, and the conditions imposed for location and use of parking lots. This zoning text amendment would be effective across all Commercial Zones in Clearfield City.
11. Public Hearing, Discussion and Possible Action on **ZTA 1404-0002**: Zoning Text Amendment to Title 11, Chapter 5 to propose standards for Administrative Site Plan reviews. This zoning text amendment would be effective across all Zones in Clearfield City.
12. Public Hearing, Discussion and Possible Action on **ZTA 1404-0003**: Zoning Text Amendment to Title 11, Chapter 14 to propose standards for gravel parking areas within residential zones. This zoning text amendment would be effective across all Zones in Clearfield City.

DISCUSSION ITEMS:

13. Discussion about standards for Animal Keeping within Agricultural zones in Clearfield City, and potential amendments to City Code Title 11, Chapter 8 Agricultural Zones to consider allowing greater flexibility for animal keeping within agricultural properties.

COMMUNICATION ITEMS:

14. Staff Communications
15. Planning Commissioners' Minute

****PLANNING COMMISSION MEETING ADJOURNED****

Dated this 30th day of May, 2014

/s/Scott A. Hess, Development Services Manager



The City of Clearfield, in accordance with the 'Americans with Disabilities Act', provides accommodations and auxiliary communicative aids and services for all those citizens needing assistance. Persons requesting accommodations for City sponsored public meetings, service programs, or events, should call Christine Horrocks at 525-2780, giving her 48 hours notice.



Planning Commission

STAFF REPORT

AGENDA ITEM
#4

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Discussion and Possible Action on **SP 1405-0001**: a request by Lifetime Products for Site Plan to consider the addition of an exterior Silo to hold material for the manufacturing process, located at Building B-12 Freeport Center (TIN: 12-065-0055). The property lies in the Manufacturing (M-1) zoning district.

RECOMMENDATION

Move to **approve as conditioned**, SP 1405-0001, a Site Plan for Lifetime product silo addition, based on the findings and discussion in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Lifetime Silo
Site Location	Freeport Center, Building B-12
Tax ID Number	12-065-0055
Applicant	Matt Bailey RE Bailey Construction Inc.
Owner	Lifetime/Freeport
Proposed Actions	Site Plan approval
Current Zoning	M-1 (Manufacturing)
Land Use Classification	Manufacturing
Gross Site Area	80.10 acres
Bldg B-12 Silo Additions	1 silo 12 FT diameter on 342 SF concrete pad

Surrounding Properties and Uses:

Current Zoning District

Comprehensive Plan
Land Use Classification

North	Freeport Center, Developed Industrial Buildings	M-1 (Manufacturing Zone)	Manufacturing
East	Freeport Center, Developed Industrial Buildings	M-1 (Manufacturing Zone)	Manufacturing
South	Freeport Center, Developed Industrial Buildings	M-1 (Manufacturing Zone)	Manufacturing
West	Freeport Center, Developed Industrial Buildings	M-1 (Manufacturing Zone)	Manufacturing

HISTORY

- Prior to 2011** Various building permits were approved and issued for the principal building
- 9-21-2011** Site Plan approval for two storage silos and an accessory structure for Building D-11

ANALYSIS

Master Plan and Zoning

The site is located in the vicinity of A Street and 11th Street in Freeport Center at Buildings B-11 and B-12. The property is zoned M-1 and master planned Manufacturing. The proposed addition is consistent with the Master Plan and zoning.

Site Plan Review

Product Silo

One additional silo is proposed to be constructed just west of Building B-12 adjacent to the two formerly approved silos (See Attachment 1: Silo Site Plan). The concrete pad is approximately 18'x19' for a total of 342 square feet and the silo is approximately 12 feet in diameter and 60 feet tall (See Attachment 2: Silo Elevation).

Section 11-13-11 of the City Code makes height limitation exceptions for such items as water tanks, ventilators, chimneys or other appurtenances usually required to be placed above the roof level and not intended for human occupancy. Silos used for product storage would be classified as a similar structure. The site is already developed with heavy industrial uses with

other existing silos in the immediate vicinity used for similar purposes at Building B-11 and Building B-12. There are no further zoning regulations on these types of structures.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Site Plan Review

Clearfield Land Use Ordinance Section 11-5-3 establishes the review considerations the Planning Commission shall make to approve Site Plans. The findings and staff's evaluation are outlined below:

Review Consideration		Staff Analysis
1)	<i>Traffic:</i> The effect of the site development plan on traffic conditions on abutting streets.	Does not apply for this request. No additional traffic is anticipated with this addition.
2)	Vehicle; Pedestrian: The layout of the site with respect to locations and dimension of vehicular and pedestrian entrances, exists, drives and walkways.	The location of the silo is outside the pedestrian walkways of the property and out of vehicular traffic areas.
3)	<i>Off-Street Parking:</i> Compliance of off-street parking facilities with Chapter 14 of this Title.	Does not apply for this request. The addition does not create additional parking needs. The existing parking meets the standards for manufacturing building.
4)	<i>Loading and Unloading Facilities:</i> The location, arrangement and dimensions of truck loading and unloading facilities.	Does not apply for this request. The addition does not necessitate additional loading spaces.
5)	<i>Surfacing and Lighting; Parking:</i> The surfacing and lighting of off-street parking.	Does not apply for this request. The parking lot is already developed.
6)	Screen Planting: The location, height and materials, of walls, fences, hedges and screen planting.	The silo location is surrounded by developed industrial uses and additional screening is not necessary. The silo location is adjacent to two existing identical silos.

7)	Landscaping: The layout and appropriateness of landscaping.	The addition does not alter the existing landscape, nor necessitates the addition of landscaping.
8)	<i>Drainage:</i> The effect of the site development plan on City storm water drainage systems.	Does not apply for this request. The location of the addition does not alter the existing drainage.
9)	<i>Utility:</i> The effect of the site development plan on City utility systems.	Does not apply for this request. The addition does not impact the existing utility systems.
10)	Building Locations: Consideration of building locations on the site, elevations and relation to surrounding areas (Ord. 84-06B, 9-11-1984)	The silo is proposed to be located in close proximity to the existing silos and is located in existing industrial development. Visibility and impact of the silo should be minimal from surrounding properties.
11)	Exterior Design: Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended. (Ord. 84-08, 10-23-1984)	The proposal is an ancillary building to an existing industrial building. Under 11-18-3 minor structures added to a site may deviate from strict adherence to Design Standards. (Refer to these findings in the table below.)
12)	<i>Signs:</i> Compliance of signs with Chapter 15 of this Title and particular consideration to the location of signs upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.	Does not apply for this request. Signage is not a part of the request.

FINDINGS

Deviations from Strict Compliance

Clearfield Land Use Ordinance Section 11-18-3 establishes the findings that Planning Commission shall make to approve deviations from some of the Chapter 18 design standards. The findings and staff's evaluation are outlined below:

Findings for Deviations		Staff Analysis
1)	Is consistent with the purpose of [Chapter 18] and any applicable master plan or ordinance.	The proposal consists of product silo (ancillary building) at a location that is surrounded by developed industrial uses on all sides.

2)	Will not adversely affect neighboring property owners or residents; and	The subject property and all surrounding properties are already developed with heavy industrial uses. The expansion would not adversely affect the neighboring properties.
3)	Creates a consistent and compatible design in cases which involve minor structures added to a site.	The product silo is consistent with typical heavy industrial developments and other materials in the immediate vicinity.

CONDITIONS OF APPROVAL

- 1) The Construction Documents submitted for building permits shall be in substantial conformance with the documents submitted in this Site Plan approval, SP 1405-0001.

ATTACHMENTS

1. Silo Site Plan
2. Silo Elevation

SEAL:

REVISION:	
DATE:	
PROJECT:	11-001
DRAWN BY:	ALLC
PLN:	5-7-2014

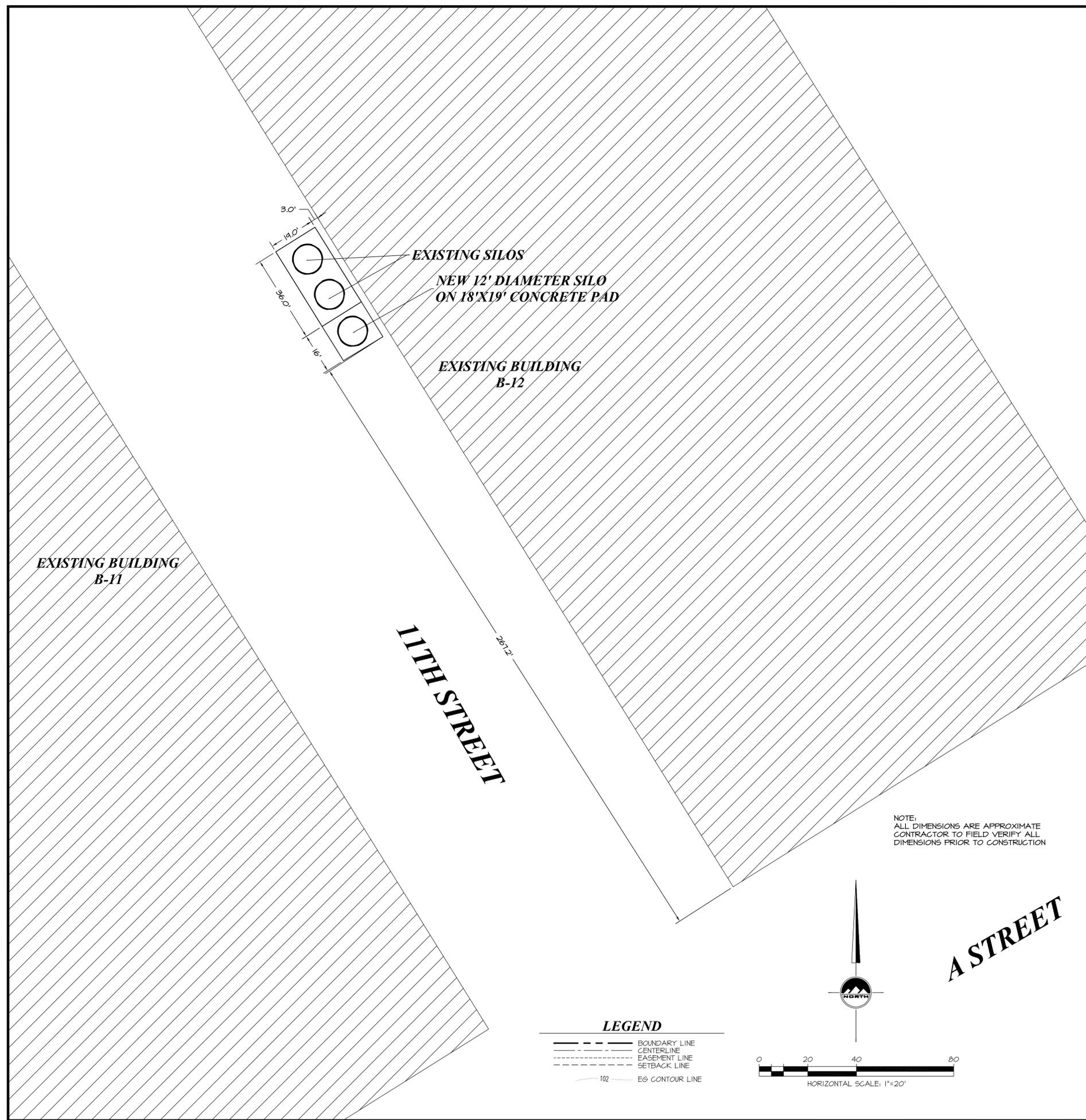
DRAWING DESCRIPTION:	SITE PLAN
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177 E ANTELOPE DR. #B
LAYTON, UTAH 84041
PHONE: (801) 499-5054
FAX: (801) 499-5065

SILVERPEAK
ENGINEERING

LIFETIME PRODUCTS SILO
BUILDING B-11
FREEPORT CENTER, CLEARFIELD, UT

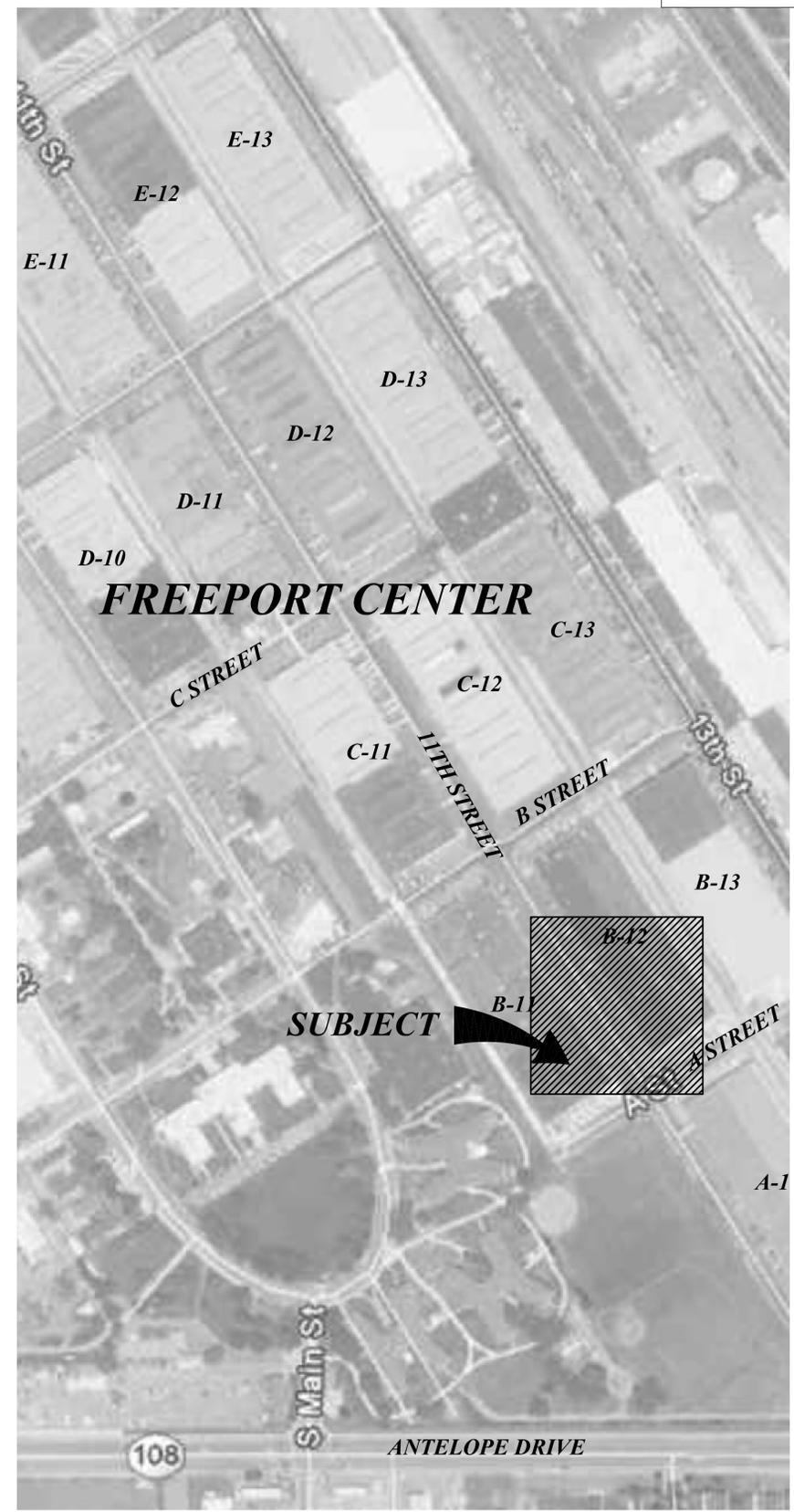
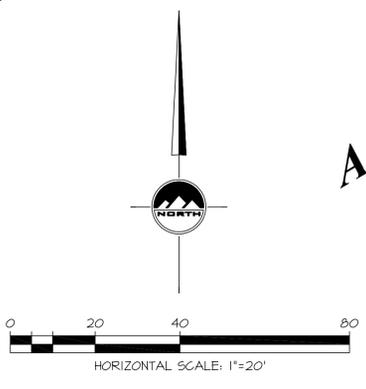
SHEET NUMBER:
C1
SITE PLAN



NOTE:
ALL DIMENSIONS ARE APPROXIMATE
CONTRACTOR TO FIELD VERIFY ALL
DIMENSIONS PRIOR TO CONSTRUCTION

LEGEND

- BOUNDARY LINE
- - - CENTERLINE
- - - EASEMENT LINE
- - - SETBACK LINE
- 102 E6 CONTOUR LINE



VICINITY MAP

GENERAL NOTES:

- VISITS TO THE JOB SITE BY REPRESENTATIVES OF THE ENGINEER DO NOT SUBSTITUTE APPROVAL OF THE WORK PERFORMED BY THE CONTRACTOR OR HIS SUBCONTRACTORS AND ARE MERELY FOR THE PURPOSE OF OBSERVING THE WORK PERFORMED.
- CONTRACTOR SHALL NOTIFY ENGINEER/ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS, ETC., AT THE SITE AND SHALL COORDINATE WORK PERFORMED BY ALL TRADES. DO NOT SCALE DRAWINGS.
- SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER/ARCHITECT PRIOR TO FABRICATION OR ERECTION FOR ANY PREFABRICATED OR MANUFACTURER-DESIGNED COMPONENTS AND SHALL BE STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THIS STRUCTURE RESIDES.
- SIZES, LOCATIONS, LOADS, AND ANCHORAGES OF EQUIPMENT SHALL BE VERIFIED IN THE FIELD WITH EQUIPMENT MANUFACTURERS (SUPPLIERS) PRIOR TO FABRICATION OR INSTALLATION OF SUPPORTING STRUCTURES.
- TEMPORARY BRACING SHALL BE PROVIDED WHEREVER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING WIND. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY, OR UNTIL ALL THE STRUCTURAL ELEMENTS ARE INSTALLED.
- DURING AND AFTER CONSTRUCTION THE CONTRACTOR AND/OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN LOAD.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS AS STATED IN THE 2004 INTERNATIONAL BUILDING CODE, (OR LATEST ACCEPTED CODE ADOPTED BY THE LOCAL BUILDING OFFICIALS).
- ANY SPECIAL INSPECTIONS REQUIRED BY THE BUILDING OFFICIAL OR THE BUILDING CODE ARE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION WITHIN AND ADJACENT TO THE JOB SITE.

CONCRETE NOTES:

- ALL COLUMNS AND WALLS AND ALL EXTERIOR FLATWORK, CURBS, GUTTERS, ETC., SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH EQUAL TO AT LEAST 4,000 LBS. PER SQUARE INCH WITHIN 28 DAYS AFTER POURING. THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN 0.44 AND SLUMP SHALL BE 3" OR LESS.
- ALL FOOTINGS, FOUNDATIONS, AND INTERIOR SLABS ON GRADE SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH EQUAL TO A LEAST 4,000 LBS. PER SQUARE INCH WITHIN 28 DAYS AFTER POURING. THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN 0.50 AND SLUMP SHALL BE 3" OR LESS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION JOINTS SHALL BE KEYED WITH A KEY 1-1/2" DEEP, A LENGTH 2" LESS THAN THE MEMBER, AND A WIDTH 1/2 OF THE MEMBER. REINFORCING SHALL BE CONTINUOUS THRU JOINT.
- ALL METAL REINFORCEMENT SHALL BE DEFORMED TYPE BARS AND SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS A.S.T.M. A615 GRADE 60. BEAM AND COLUMN TIE REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATION A.S.T.M. A615 GRADE 60.
- ALL SPLICES IN CONTINUOUS CONCRETE REINFORCING BARS SHALL LAP 40 BAR DIAMETERS. ALL SUCH SPLICES SHALL BE MADE IN A REGION OF COMPRESSION UNLESS OTHERWISE SHOWN.
- ALL REINFORCEMENT BARS SHALL BE SECURELY ANCHORED AND SHALL BE SPACED FROM THE FORMS (UNLESS SHOWN OTHERWISE) AS FOLLOWS: 2" IN BEAMS AND COLUMNS, 1" IN PROTECTED WALLS AND SUSPENDED SLABS, 2" IN UNPROTECTED WALLS, AND 3" ABOVE BOTTOM AND SIDES OF FOOTINGS.
- ALL OPENINGS IN CONCRETE WALLS SHALL BE REINFORCED WITH 2 #5 BARS EXTENDING 2'0" MIN BEYOND THE EDGE OF THE OPENING AT EACH FACE OF OPENING.
- ALL CONCRETE WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS DIRECTED BY THE SPECIFICATIONS AND ACI STANDARDS AND PRACTICES.
- BEFORE CONCRETE IS POURED CHECK WITH ALL TRADES TO INSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, ETC. RELATIVE TO WORK.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND FORMWORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENT, CLIPS OR GROUNDS, REQUIRED TO BE ENGAGED IN CONCRETE AND FLOOR LOCATION OF FLOOR FINISHES AND SLAB DEPRESSIONS.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 105 AND SHALL HAVE A MINIMUM SIDE LAP OF 8 IN.
- ALL REINFORCEMENT SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI DETAILING MANUAL 315-08 AND ACI STANDARD 318-08.
- FOR STEPS IN FOUNDATION GREATER THAN 2 FEET, WRAP CORNER W2- #4 BARS EXTENDING 18" EACH DIRECTION.

DESIGN CRITERIA	
GOVERNING CODE	2012 IBC
SEISMIC DESIGN CATEGORY	D
BASIC WIND SPEED	10 MPH EXPOSURE C
LOADS	
TOTAL TANK DEAD LOAD	8.5 KIPS PER TANK
FILLED LOAD	228 KIPS PER TANK
SOIL BEARING PRESSURE	2500 PSF
ALLOWABLE TOTAL SETTLEMENT	1-INCH

SEAL:

REVISIONS:
 DATE: 11-09-11
 PROJECT: KAYSVILLE, UT 84037
 DRAWN BY: A.L.C.
 PLOT: 5-7-2014

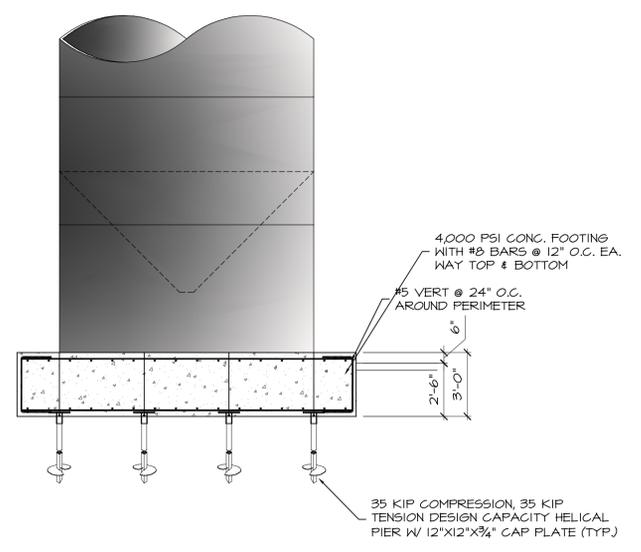
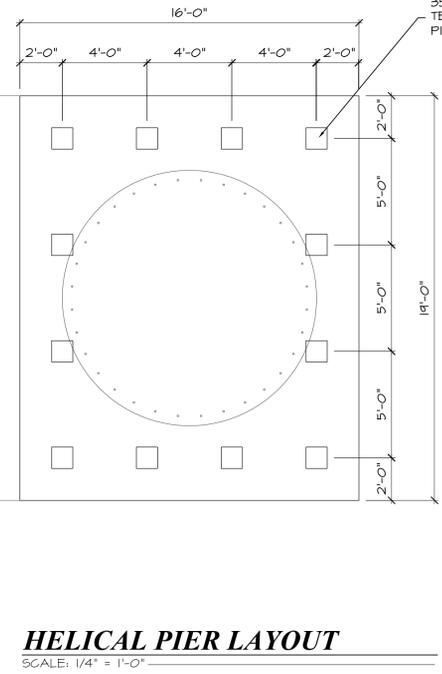
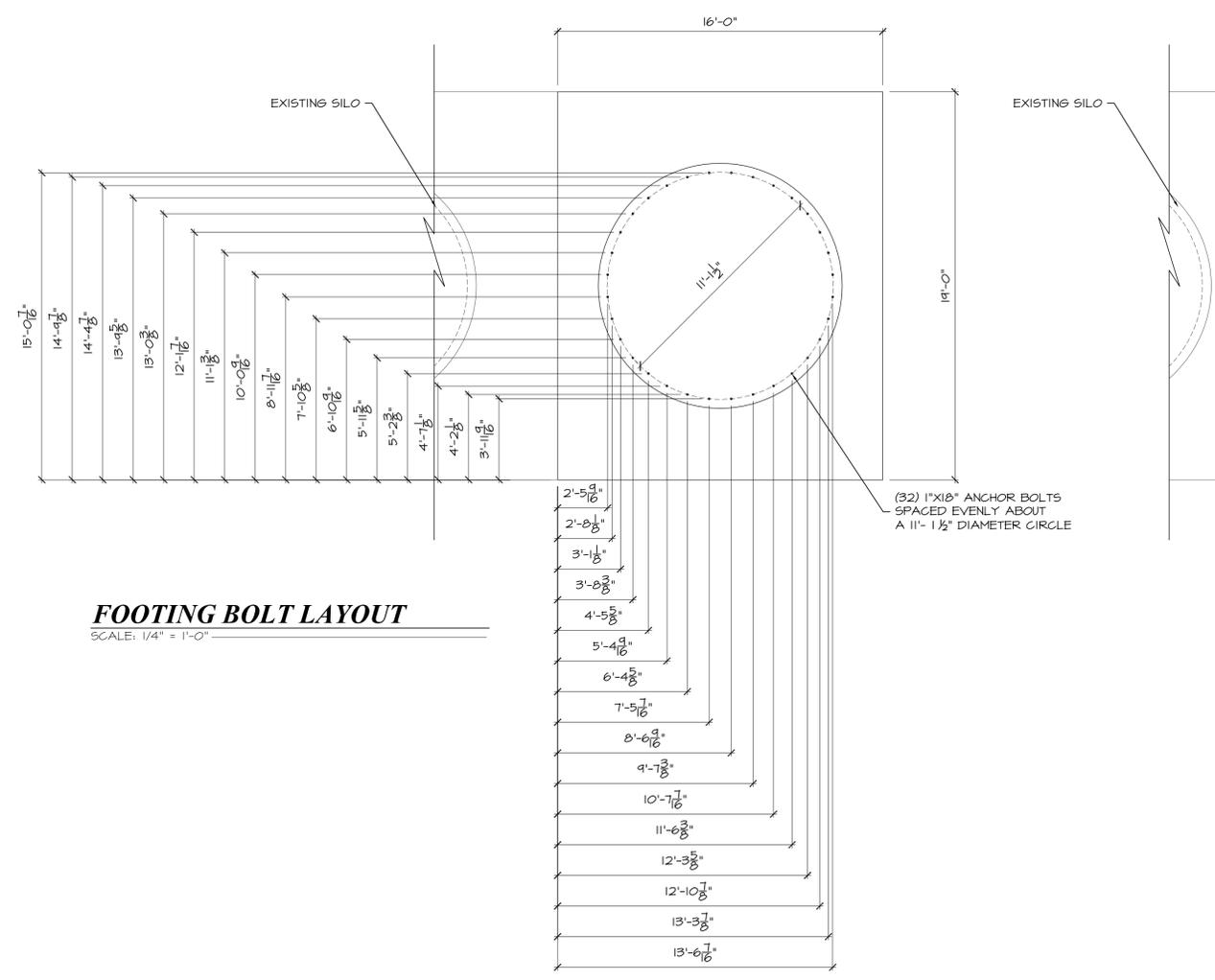
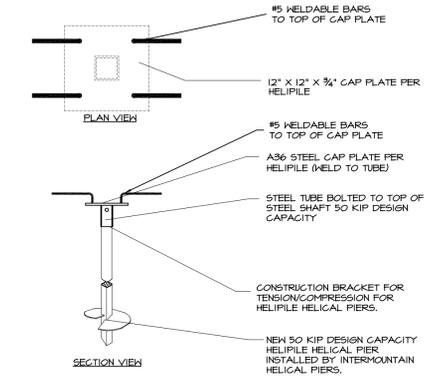
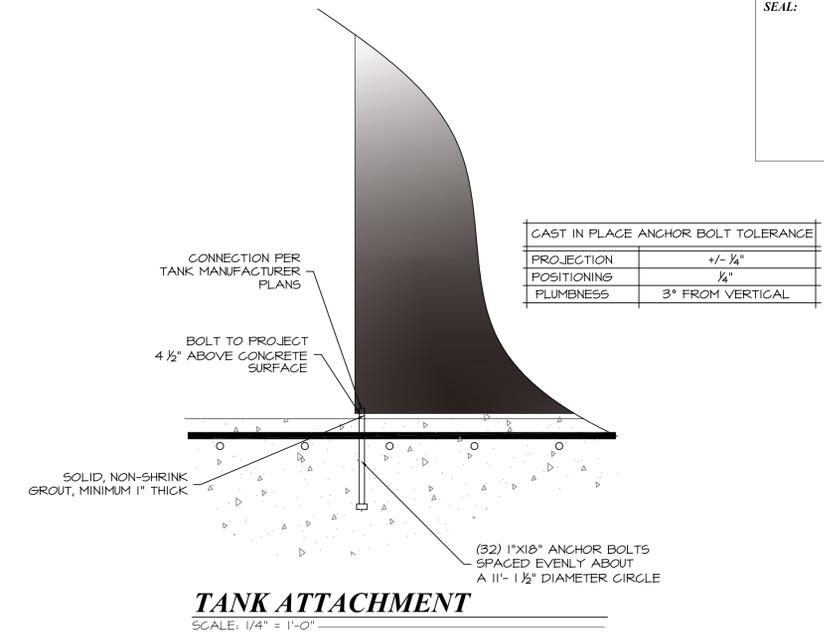
DRAWING DESCRIPTION:
 TANK FOUNDATION

352 N FLINT ST SUITE B
 KAYSVILLE, UT 84037
 PHONE: (801) 392-4211
 FAX: (801) 392-2941

SILVERPEAK
 ENGINEERING

LIFETIME PRODUCTS SILO FOOTING
 BUILDING B-12
 FREEPORT CENTER, CLEARFIELD, UT

SHEET NUMBER:
S1
 TANK FOUNDATION



SEAL:

REVISION:
DATE:
PROJECT: 11-091
DRAWN BY: A.L.C.
PLOT: 5-7-2014

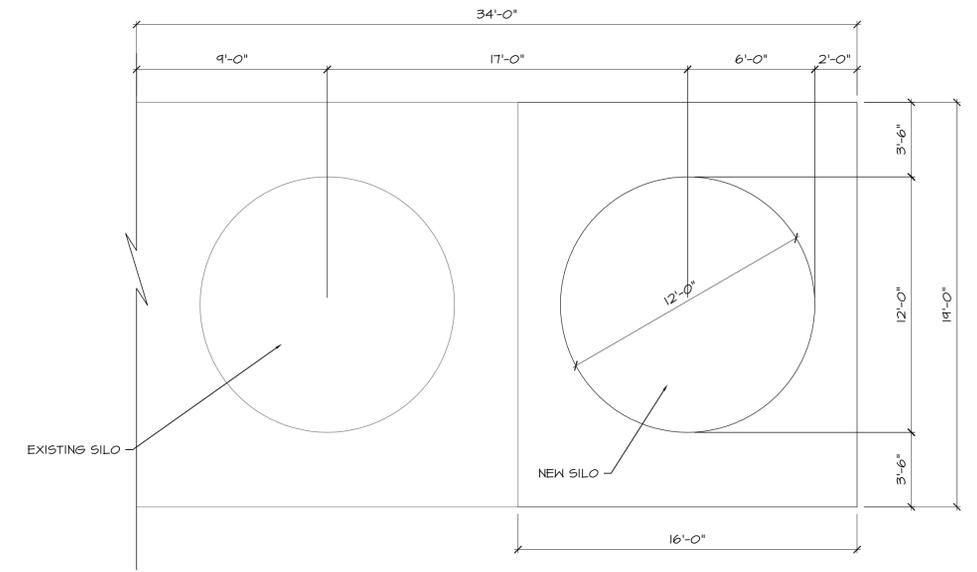
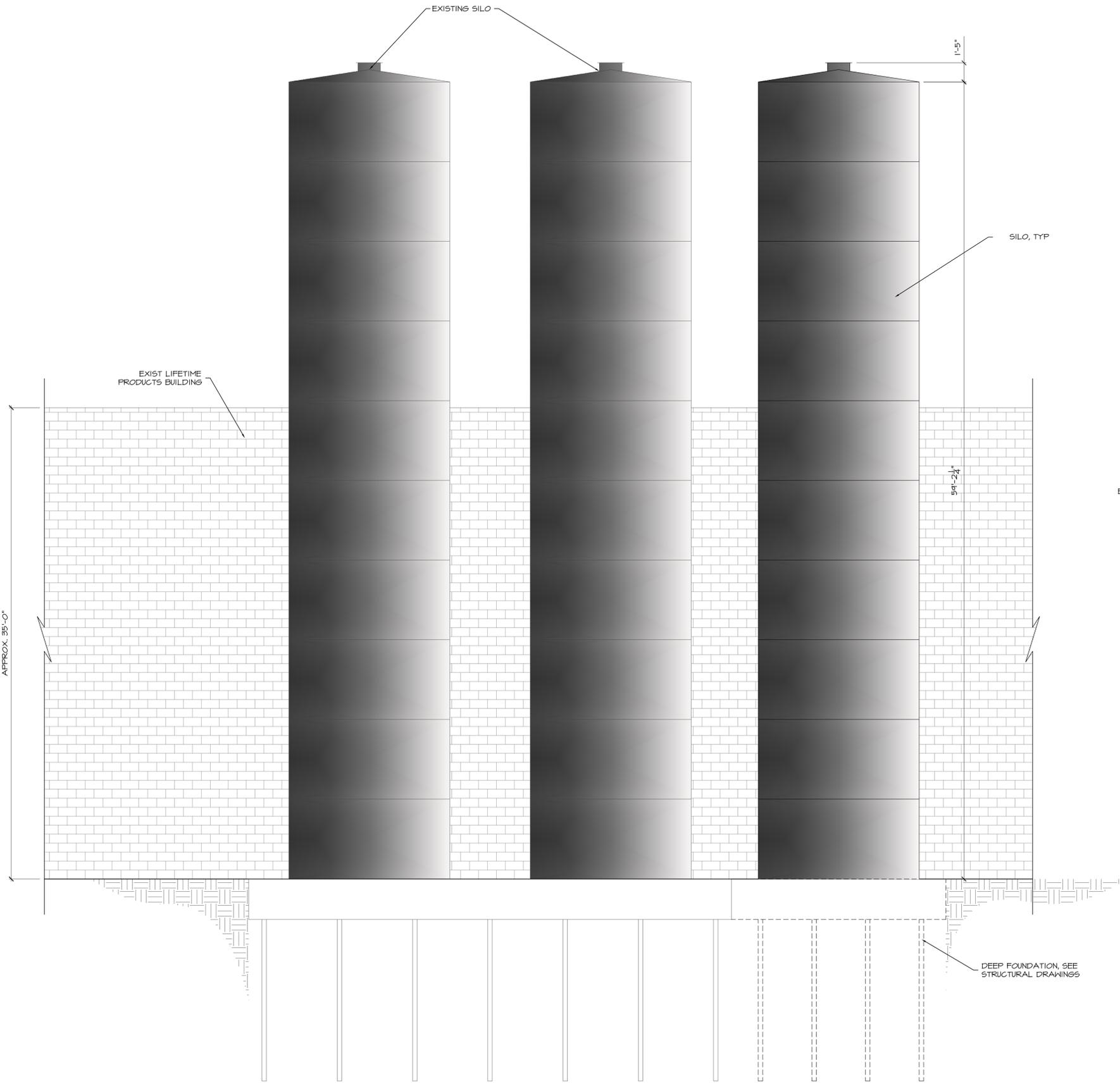
DRAWING DESCRIPTION:
EXTERIOR ELEVATIONS

352 N FLINT ST SUITE B
KAYSVILLE, UT 84037
PHONE: (801) 392-4211
FAX: (801) 392-2941

SILVERPEAK
ENGINEERING

LIFETIME PRODUCTS SILO FOOTING
BUILDING B-12
FREEPORT CENTER, CLEARFIELD, UT

SHEET NUMBER:
A1
EXTERIOR ELEVATIONS



PLAN VIEW
SCALE: 1/4" = 1'-0" 2
AI

WEST ELEVATION
SCALE: 1/4" = 1'-0"



Planning Commission

STAFF REPORT

AGENDA ITEM
#5

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Discussion and Possible Action on **SP 1405-0002**: a request by Dan Thompson for Site Plan to consider change of use from commercial to a church within an existing structure, located at 225 N. Main Street (TIN: 12-020-0048). The property is approximately 0.22 acres and lies in the Commercial (C-2) zoning district.

RECOMMENDATION

Move to **approve as conditioned**, SP 1405-0002, Site Plan approval for 225 N. Main change of use, based on the findings and discussion in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Layton Islamic Center
Site Location	225 N. Main Street
Tax ID Number	12-020-0048
Applicant	S. M. Ahmed – Islamic Society of Layton
Property Owner	Dan Thompson
Proposed Actions	Site Plan Approval
Current Zoning	C-2 (Commercial)
Master Plan Land Use	Mixed Use
Gross Site Area	Approx. 0.22 acres (9583 SF)
Existing Building SF	Approx. 1,700 SF

Development Standards:	Proposed	Required
Lot Size	0.22 acres	No minimum
Lot Width	Approx. 50 feet	35 feet
Setbacks		
Front	5 feet	5 feet
Side	3 feet	0 feet
Rear	60 feet	0 feet
Landscaping	12%	10%
Parking Spaces	14 spaces	11 spaces

**Addressed in the deviations from strict compliance findings.*

Vicinity Map



Surrounding Properties and Uses:		Current Zoning District	Comprehensive Plan Land Use Classification
North	245 N. Main – Vacant	C-2 (Commercial Zone)	Mixed-Use
East	Main Street, Jr's Auto Service	C-2 (Commercial Zone)	Commercial
South	PMN Associates – Multi tenant building	C-2 (Commercial Zone)	Mixed Use
West	Appliance Clinic	C-2 (Commercial Zone)	Mixed Use

ANALYSIS

Comprehensive Plan and Zoning

The site is approximately a 0.22-acre parcel, located south of the 250 North Street. The property is Master Planned Mixed Use and lies in the C-2 zoning district. The use of the building has historically been permitted commercial uses, and was recently a chiropractic office. The project is subject to Site Plan approval at this time due to a request for change of use from commercial to a church through a conditional use permit application. The church being proposed is the Islamic Society of Layton. This staff report only considers the Site Plan portion of the project.

Site Plan Review

Review considerations for Site Plan approval are discussed in detail in the Site Plan review table below.

TRAFFIC

The site has a shared drive access with 245 N. Main Street to the north. The configuration of parking and site circulation is very limited. The building at 245 N. Main is currently unoccupied. Any future use of that structure will need to be sensitive to the shared drive approach and shared parking lot. To date, there have not been any complaints filed with the city. Community Development will monitor the parking, and any conflicts as potential new businesses come into the building on 245 N. Main Street. As with other approvals of commercial locations along Main Street, Staff would recommend limiting the applicant from allowing backing onto Main Street as it may negatively impact traffic flow.

DESIGN STANDARDS

There are no current exterior modifications proposed with the request.

LANDSCAPING

Landscaping is currently deficient, but the applicant has proposed a series of planter boxes along the south side of the property which would allow the site to come into compliance with the 10% landscaping requirement. Due to the unique nature of the site and its very limited size, there has not been a requirement to detain on site storm water.

GARBAGE DUMPSTER

The plans do not show a garbage dumpster. If the applicant desires a garbage dumpster, it will need to be screened and enclosed per City Code.

FENCING PLAN

All abutting properties are zoned commercial, no further fencing is being proposed at this time.

SIGN PACKAGE

Signage is not a part of this request at this time.

ENGINEERING REVIEW

No engineering review of this site, as there are no changes being proposed to any existing impervious surface, and no changes being made to any utilities.

OTHER AGENCY REVIEW

Fire Review

Site Plan approval is subject to North Davis Fire District final review and approval which will occur during the building permit process.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Site Plan Review

Clearfield Land Use Ordinance Section 11-5-3 establishes the review considerations the Planning Commission shall make to approve Site Plans. The findings and staff's evaluation are outlined below:

Review Consideration		Staff Analysis
1)	Traffic: The effect of the site development plan on traffic conditions on abutting streets.	The site is located with direct access to Main Street and access to 250 North through the 245 N. Main parking lot. There is not anticipated to be further impact to the traffic than what existed previously. Staff recommends that backing onto Main Street not be allowed.
2)	Vehicle; Pedestrian: The layout of the site with respect to locations and dimension of vehicular and pedestrian entrances, exits, drives and walkways.	The driveways to the site are existing. There are public sidewalks along Main Street, as well as sidewalks along the building. Deteriorated or damaged sidewalk and concrete will need to be replaced or installed.
3)	Off-Street Parking: Compliance of off-street parking facilities with Chapter 14 of this Title.	The site requires 11 parking spaces and the plan currently provides 14 spaces which must include 1 ADA compliant space. The parking also meets paving improvement standards with the use of asphalt.

4)	<i>Loading and Unloading Facilities:</i> The location, arrangement and dimensions of truck loading and unloading facilities.	The site is not subject to an off-street loading space requirement.
5)	<i>Surfacing and Lighting; Parking:</i> The surfacing and lighting of off-street parking.	The proposal does not include additional lighting on the building.
6)	<i>Screen Planting:</i> The location, height and materials, of walls, fences, hedges and screen planting.	The abutting properties are zoned commercial. No additional screen planting is necessary.
7)	Landscaping: The layout and appropriateness of landscaping.	The site will come into compliance with landscaping through a series of planter boxes provided along the south and west side of the parcel. There is also a small planter box on Main Street that will be planted. The site will provide 12% landscaping under this configuration.
8)	<i>Drainage:</i> The effect of the site development plan on City storm water drainage systems.	There are no changes being proposed to the storm water collection and site drainage.
9)	<i>Utility:</i> The effect of the site development plan on City utility systems.	There are no changes being proposed to on site utilities.
10)	<i>Building Locations:</i> Consideration of building locations on the site, elevations and relation to surrounding areas (Ord. 84-06B, 9-11-1984)	There are no changes being proposed to the existing building.
11)	<i>Exterior Design:</i> Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended. (Ord. 84-08, 10-23-1984)	There no exterior design changes proposed to the building.
12)	<i>Signs:</i> Compliance of signs with Chapter 15 of this Title and particular consideration to the location of signs	One sign per street frontage is permitted that is consistent with 11-15-8 wall signage standards. Signage is not included as part of this request.

	upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.	
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CONDITIONS OF APPROVAL

- 1) The Construction Documents submitted for building permits shall be in substantial conformance with the documents submitted in this Site Plan approval, SP 1405-0002. Construction Documents shall demonstrate full compliance with City Code and Standards, including, but not limited to the following:
 - a. A landscape plan will be submitted with the construction documents that include quantities and specify plant materials and will demonstrate that the plants are irrigated with an automatic irrigation system, pursuant to 11-13-23(E)
 - b. Mechanical equipment (either roof or ground mounted, shall be screened from public view).
 - c. One sign per street frontage Main Street will be permitted, pursuant to the standards established in 11-15-8(E).
 - d. The garbage dumpster shall be fully screened from view.
- 2) Site Plan approval is subject to North Davis County Fire District review and approval.
- 3) Should the landscape not be installed prior to Certificate of Occupancy, pursuant to Land Use Ordinance 11-13-23(C) and (D) Final building permit approval is subject to the applicant establishing an escrow account, as reviewed and approved by the City Engineer and City Attorney. *(This includes the installation of the irrigation system if applicable.)*

ATTACHMENTS

- 1. Site Plan

N. Main Street

SITE PLAN

PARKING 14 SPACES

GREEN SPACE 1153 SQ. FT.

TOTAL LOT SIZE 9583.20 SQ. FT.

20 ft

N
↑

225 N Main St - Google Maps

W 250 N

↑

1 2 3 4 5 6 7

8 9 10 11 12

13

14

225 N Main St

XXXXXXXXXX

XXXXXXXXXX





Planning Commission

STAFF REPORT

AGENDA ITEM
#6

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Discussion and Possible Action on **SP 1405-0004**: a request by Jenmar for Site Plan to consider additional parking area, located at 155 E. 550 S. (TIN: 12-003-0164). The property is approximately 5.7 acres and lies in the Manufacturing (M-1) zoning district.

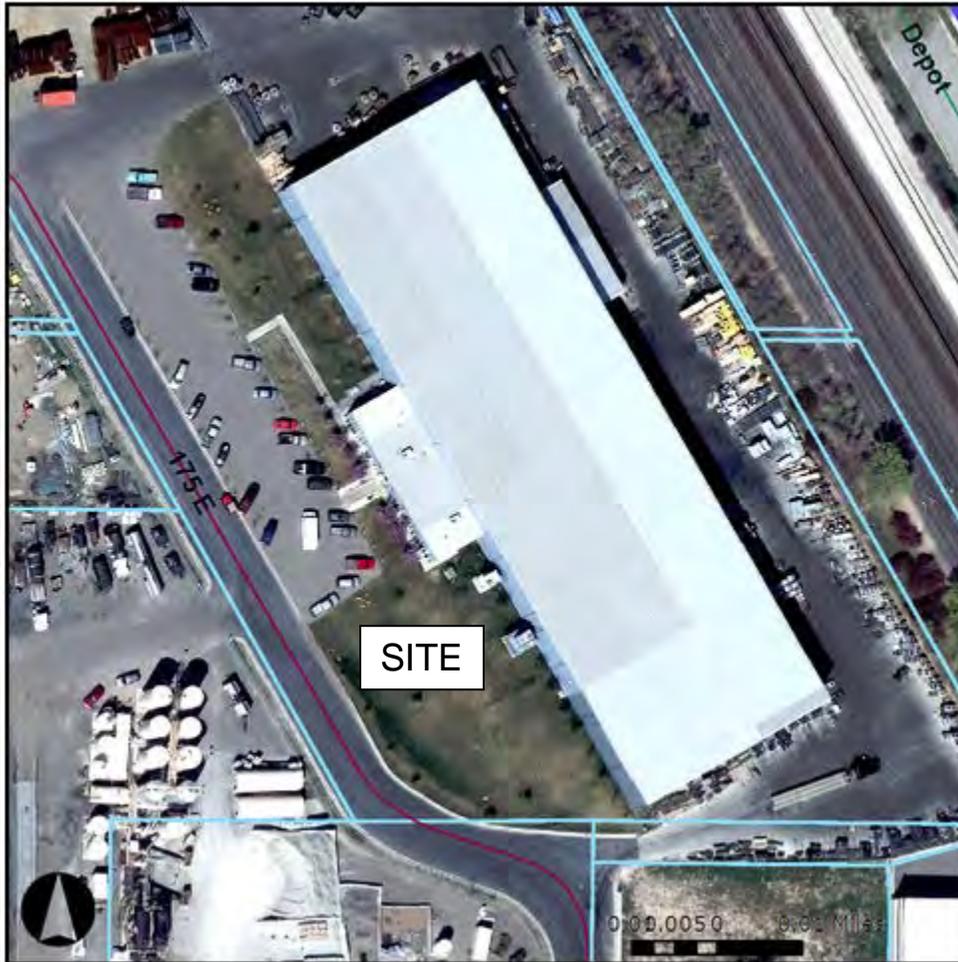
RECOMMENDATION

Move to **approve as conditioned**, SP 1405-0004, a Site Plan for Jenmar parking lot expansion, based on the findings and discussion in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Jenmar Parking Lot Expansion
Site Location	155 E. 550 S. Jenmar
Tax ID Number	12-003-0164
Applicant	Jared Schofield
Owner	Jenmar Corporation of Utah Inc.
Proposed Actions	Site Plan approval
Current Zoning	M-1 (Manufacturing)
Land Use Classification	Manufacturing
Gross Site Area	5.7 acres
Site Changes	Addition of 17 Parking Spaces with 2 ADA Spaces

VICINITY MAP



Surrounding Properties and Uses:		Current Zoning District	Comprehensive Plan Land Use Classification
North	Clearfield City Public Works	M-1 (Manufacturing Zone)	Manufacturing
East	Railroad Right-of-Way	N/A	N/A
South	Impact Machine Company	M-1 (Manufacturing Zone)	Manufacturing
West	Morgan Pavement	M-1 (Manufacturing Zone)	Manufacturing

ANALYSIS

Master Plan and Zoning

The site is located in the vicinity of Main Street and 700 South, located north of the new S.R. 193 extension. The property is zoned M-1 and master planned Manufacturing. The proposed parking lot addition is consistent with the Master Plan and zoning.

Site Plan Review

Parking Lot Expansion

Parking along the 560 South access road between Jennmar and Morgan Pavement is currently deficient. There are often vehicles lining both sides of 560 South and 175 East creating a hazard for large trucks and construction vehicles driving through this manufacturing area. Jennmar is proposing to add 17 parking spaces immediately south of their existing parking lot. The plan proposes two ADA parking spaces which staff feels is sufficient for the current use of the Jennmar facility. There are no additional site changes or access changes proposed at this time. The additional parking area will remove a small portion of landscaping. Jennmar's site is 250,462 square feet with approximately 38,622 square feet of landscaping provided throughout the site. The landscaping for the site will total 15% even after the parking expansion.

Storm Water Collection

Jennmar is proposing improvements to their current water detention basin located south of the proposed parking lot expansion. This area serves as a portion of the overall landscaping as well as water collection for surface runoff. The detention pond has been designed to accommodate a 100 year flood. Surface drainage calculations were provided to Clearfield City and were reviewed by Storm Water Manager Dan Schuler. Mr. Schuler provided a letter to the Community Development Department stating that the proposed plan meets Clearfield City and State of Utah standards for Storm Water runoff controls.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Site Plan Review

Clearfield Land Use Ordinance Section 11-5-3 establishes the review considerations the Planning Commission shall make to approve Site Plans. The findings and staff's evaluation are outlined below:

Review Consideration		Staff Analysis
1)	Traffic: The effect of the site development plan on traffic conditions on abutting streets.	Does not apply for this request. No additional traffic is anticipated with the parking lot expansion. The expansion is a reaction to the current traffic and parking need within the area in order to reduce

		overall traffic impact by providing more parking.
2)	Vehicle; Pedestrian: The layout of the site with respect to locations and dimension of vehicular and pedestrian entrances, exists, drives and walkways.	The location of the additional parking is outside the current pedestrian walkways of the property and out of vehicular traffic areas. There are pedestrian walkways provided on the east side of the parking area near the entrance of the Jennmar building.
3)	Off-Street Parking: Compliance of off-street parking facilities with Chapter 14 of this Title.	The existing parking meets the standards for manufacturing building, and this request will further provide a parking benefit within the limited site area of the Jennmar building.
4)	Loading and Unloading Facilities: The location, arrangement and dimensions of truck loading and unloading facilities.	Does not apply for this request. The addition does not necessitate additional loading spaces.
5)	Surfacing and Lighting; Parking: The surfacing and lighting of off-street parking.	The additional parking lot surfacing is proposed to be asphalt. There were no lighting plans submitted with this request. Location of parking lot lighting and its effects on neighboring property owners must be in compliance with Clearfield City Code should the applicant choose to have lighting.
6)	Screen Planting: The location, height and materials, of walls, fences, hedges and screen planting.	Does not apply for this request. The area is surrounded by developed manufacturing uses and does not require any additional screen planting.
7)	Landscaping: The layout and appropriateness of landscaping.	The additional parking does slightly alter the existing landscape, but the overall site is still providing approximately 15% total landscaping.
8)	Drainage: The effect of the site development plan on City storm water drainage systems.	Surface drainage is being accommodated within the existing detention pond which will be slightly reconfigured to accept the additional surface water flows.
9)	Utility: The effect of the site development plan on City utility systems.	Does not apply for this request. The addition does not impact the existing utility systems.
10)	Building Locations: Consideration of building locations on the site, elevations and relation to surrounding areas (Ord. 84-06B, 9-11-1984)	Does not apply for this request. There are no building changes proposed.

11)	<i>Exterior Design:</i> Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended. (Ord. 84-08, 10-23-1984)	Does not apply for this request. There are no building changes proposed.
12)	<i>Signs:</i> Compliance of signs with Chapter 15 of this Title and particular consideration to the location of signs upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.	Does not apply for this request. Signage is not a part of the request.

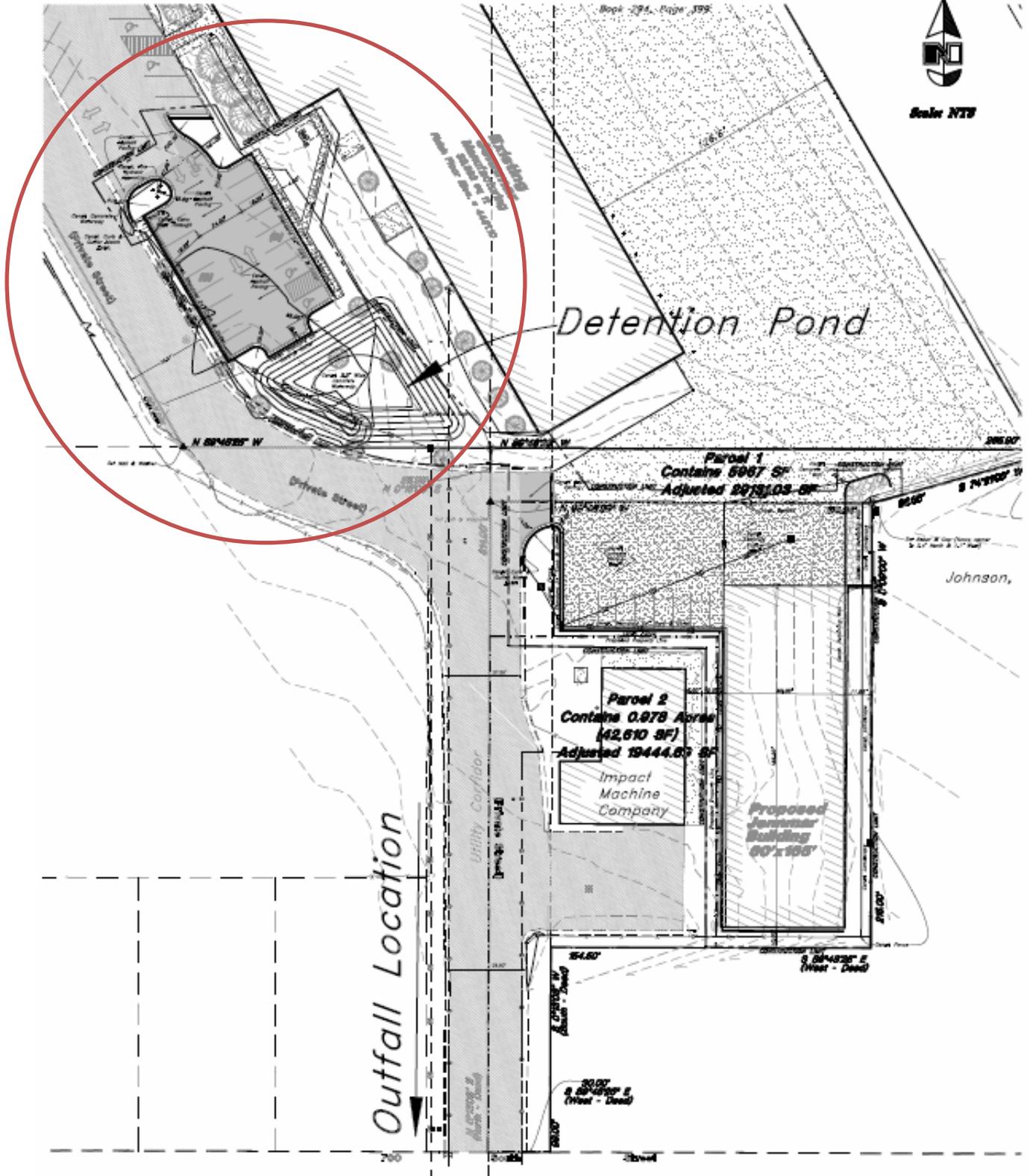
CONDITIONS OF APPROVAL

- 1) The Construction Documents submitted for building permits shall be in substantial conformance with the documents submitted in this Site Plan approval, SP 1405-0004.

ATTACHMENTS

1. Site Plan

Attachment 1: Jenmar Site Plan – Parking Lot Expansion





Planning Commission

STAFF REPORT

AGENDA ITEM
#7

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Discussion and Possible Action on **SP 1405-0005**: a request by Russ Naylor on behalf of Taco Bell for Site Plan to consider exterior modification to an existing building, located at 632 N. Main Street (TIN: 14-094-0062). The property is approximately 0.62 acres and lies in the Commercial (C-2) zoning district.

RECOMMENDATIONS

Move to **approve as conditioned**, SP 1405-0005, Site Plan approval for Taco Bell located at 632 N. Main Street, based on discussion and findings in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Taco Bell Exterior Modifications
Site Location	632 N. Main Street
Tax ID Number	14-094-0062
Applicant and Property Owner	Russ Naylor
Property Owner	Taco Bell – CDT Enterprises
Proposed Actions	Site Plan Approval
Current Zoning	C-2 (Commercial)
Master Plan Land Use	C-2 (Commercial)
Existing Site Area	0.62 acres
Existing Building Area	2020 SF

Vicinity Map



ANALYSIS

Master Plan and Zoning

The site is located immediately south of the 650 North Interchange on Main Street. The use is consistent with the current zoning as well as the master plan.

Site Plan Review

The site is currently improved with adequate landscaping, parking, and traffic circulation. The continued use of the building as a restaurant is consistent with the site and its layout.

The site plan has proposed changes to the exterior of the building consistent with new Taco Bell Restaurant models. There are no proposed changes to landscaping, parking or traffic circulation, and will not create any additional impact on the site. The overall changes to the

exterior will have little impact on the site itself, but will require a building permit and conformance to Clearfield City Codes, which includes Chapter 18 Design Guidelines.

Design Guidelines Review

Clearfield City Code Chapter 18 Design Guidelines is in effect to control development within Clearfield City and assure that development is done in a consistent way focused on high quality materials. This request is a renovation of an existing business within the City. The renovation for this chain restaurant is proposed to be of similar high quality materials to the existing structure, but with an overall updated look. The design standards are not designed to be so strict that they limit creativity or create an undue burden on development within the City. In staff’s opinion, the proposed exterior modifications meet the intent of Chapter 18 Design Guidelines, and staff would recommend for the Planning Commission to accept the renovation of the Taco Bell as proposed.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Site Plan Review

Clearfield Land Use Ordinance Section 11-5-3 establishes the review considerations the Planning Commission shall make to approve Site Plans. The findings and staff’s evaluation are outlined below:

Review Consideration		Staff Analysis
1)	<i>Traffic:</i> The effect of the site development plan on traffic conditions on abutting streets.	Does not apply for this request. No additional traffic is anticipated with this request.
2)	<i>Vehicle; Pedestrian:</i> The layout of the site with respect to locations and dimension of vehicular and pedestrian entrances, exits, drives and walkways.	Does not apply for this request. There are no impacts to pedestrian walkways, and the site is improved with a sidewalk along Main Street.
3)	<i>Off-Street Parking:</i> Compliance of off-street parking facilities with Chapter 14 of this Title.	Does not apply for this request. The existing parking meets the minimum standards for restaurants.
4)	<i>Loading and Unloading Facilities:</i> The location, arrangement and dimensions of truck loading and unloading facilities.	Does not apply for this request. The exterior modifications to the building do not necessitate additional loading spaces.

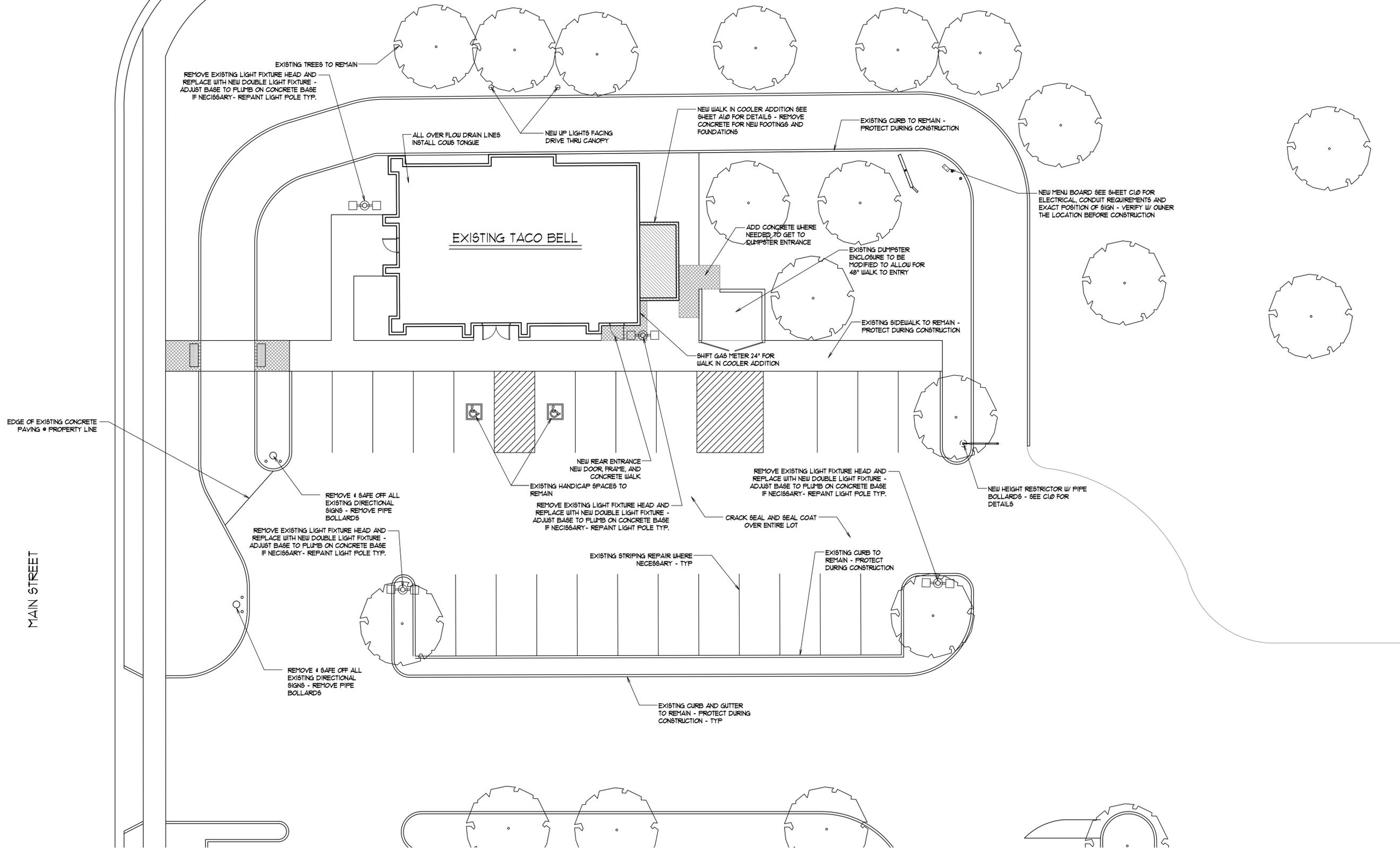
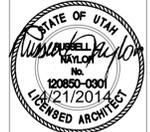
5)	<i>Surfacing and Lighting; Parking:</i> The surfacing and lighting of off-street parking.	Does not apply for this request. The parking lot is already developed.
6)	<i>Screen Planting:</i> The location, height and materials, of walls, fences, hedges and screen planting.	The building is surrounded by developed commercial uses, additional screening is not necessary.
7)	<i>Landscaping:</i> The layout and appropriateness of landscaping.	The exterior modifications do not alter the existing landscape, nor necessitates the addition of landscaping.
8)	<i>Drainage:</i> The effect of the site development plan on City storm water drainage systems.	Does not apply for this request. The exterior modifications do not alter the existing drainage.
9)	<i>Utility:</i> The effect of the site development plan on City utility systems.	Does not apply for this request. The exterior modifications do not impact the existing utility systems.
10)	<i>Building Locations:</i> Consideration of building locations on the site, elevations and relation to surrounding areas (Ord. 84-06B, 9-11-1984)	Does not apply for this request. The exterior modifications do not impact surrounding areas.
11)	<i>Exterior Design:</i> Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended. (Ord. 84-08, 10-23-1984)	The proposal is entirely comprised of an update to the exterior of the building. The exterior remodel is subject to Clearfield City Code 11-18 Design Standards. Chapter 11-18-3 has been provided to the applicant, and conformance will be confirmed at time of building permit.
12)	<i>Signs:</i> Compliance of signs with Chapter 15 of this Title and particular consideration to the location of signs upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.	Does not apply for this request. Signage is not a part of the site plan consideration.

CONDITIONS OF APPROVAL

- 1) The Construction Documents submitted for building permits shall be in substantial conformance with the documents submitted in this Site Plan approval, SP 1405-0005.
- 2) Approval is subject to any UDOT (Utah Department of Transportation) Approvals that may be required for Main Street driveways.
- 3) Approval is subject to North Davis County Fire District review and approval.

ATTACHMENTS

1. Site Plan

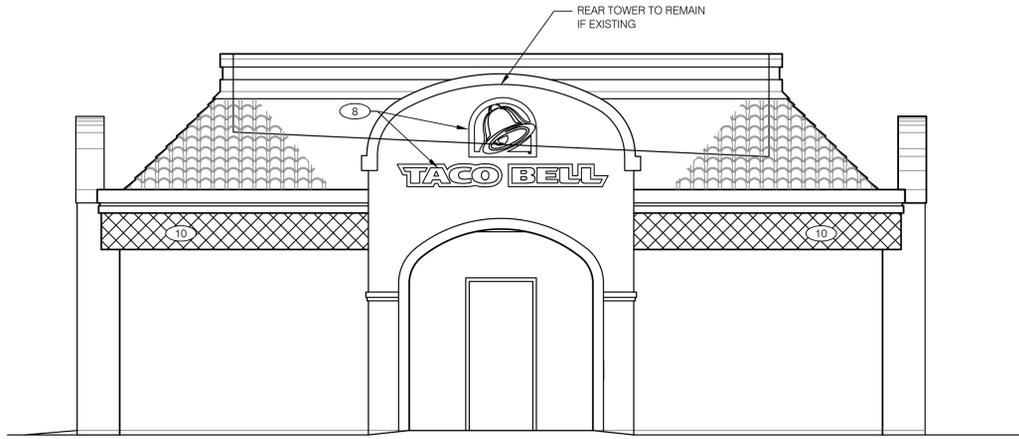


EDGE OF EXISTING CONCRETE PAVING = PROPERTY LINE

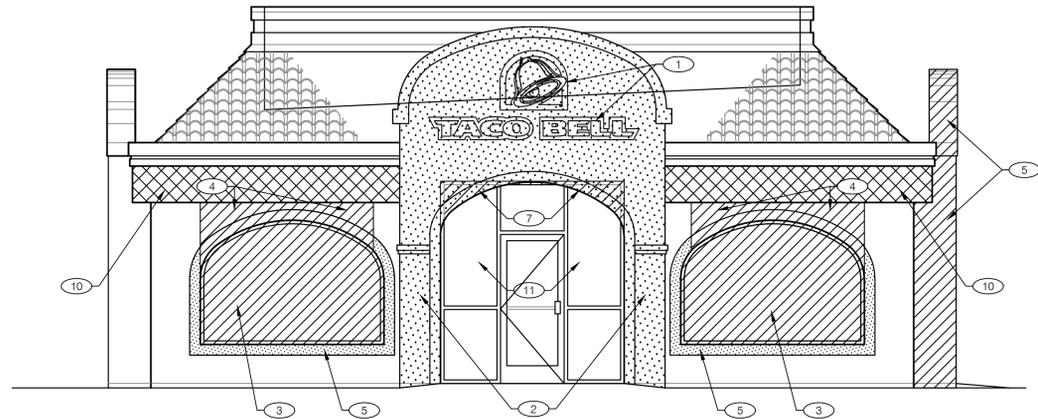
MAIN STREET

1 SITE PLAN
C01
SCALE: 1" = 10'-0"
0 10 20 FT

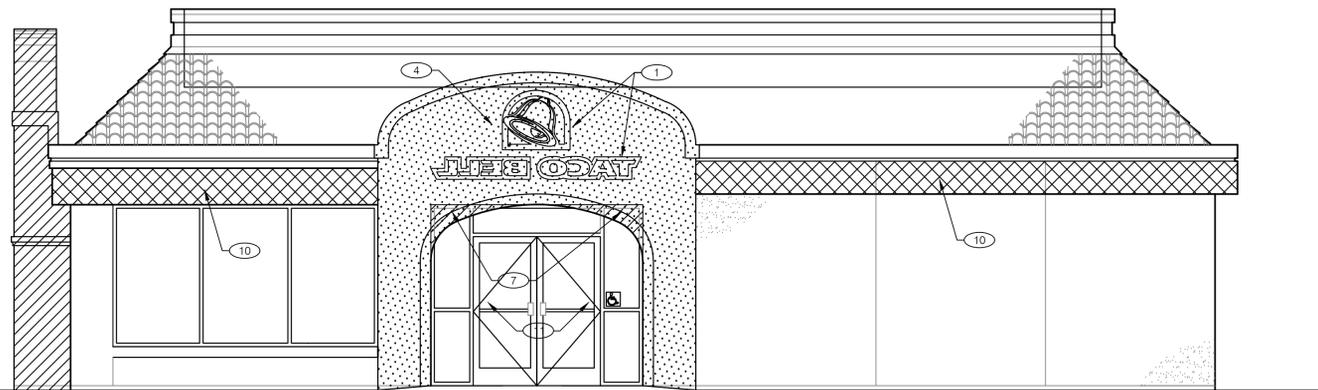




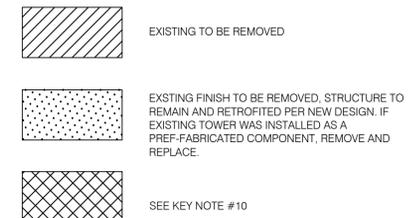
EAST ELEVATION 1/4" = 1'-0" F



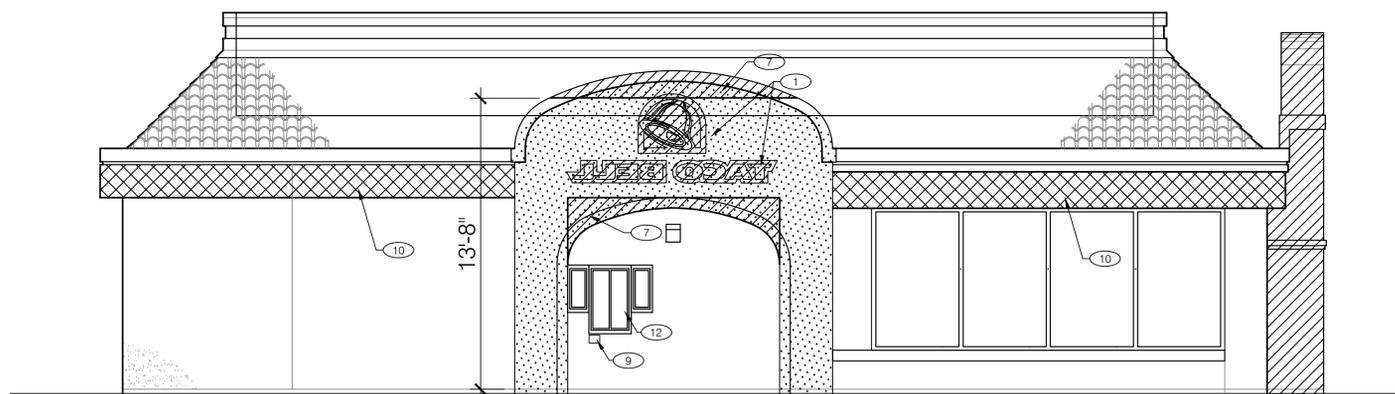
WEST ELEVATION 1/4" = 1'-0" A



SOUTH ELEVATION 1/4" = 1'-0" D



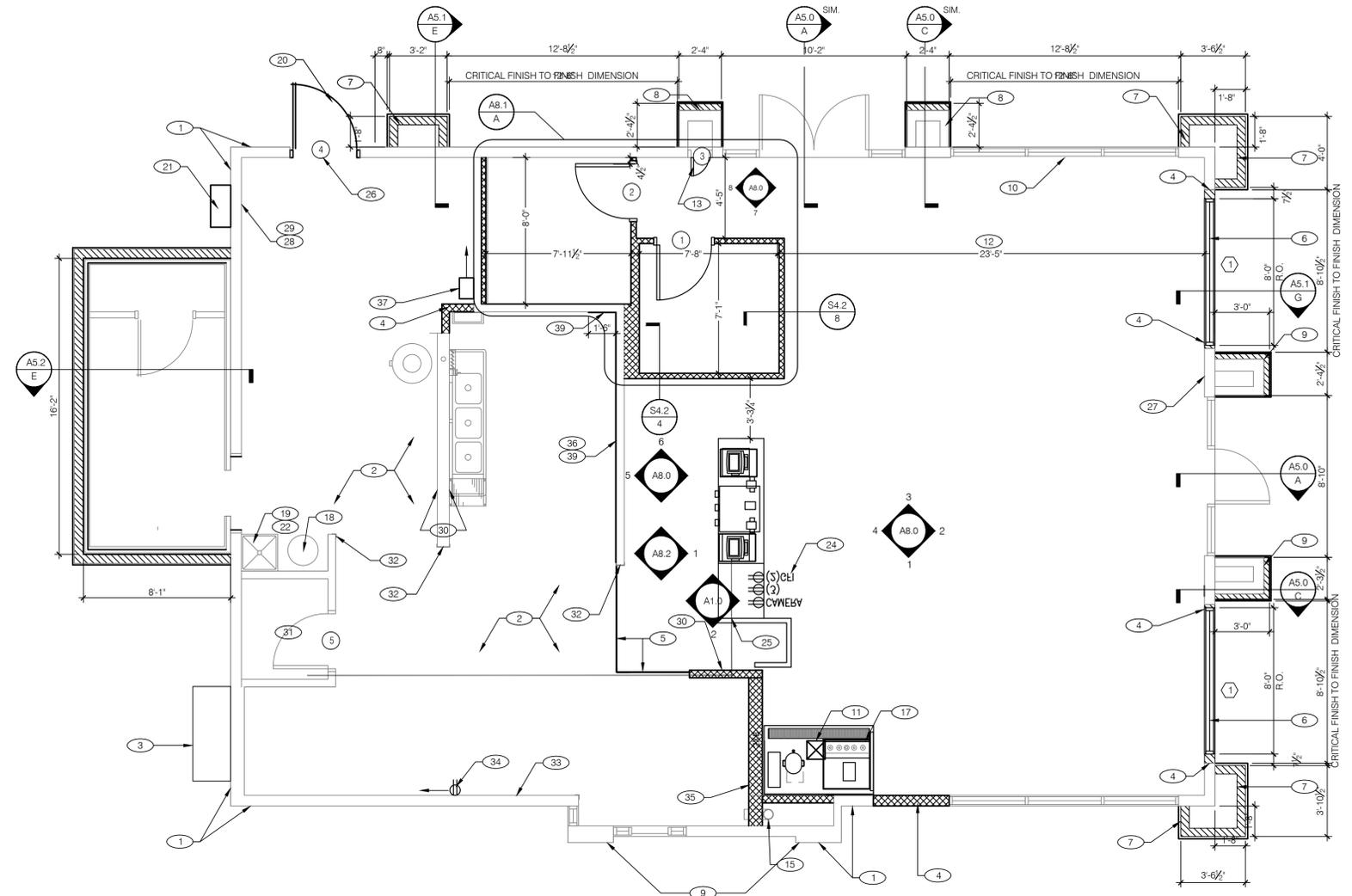
DEMOLITION LEGEND B



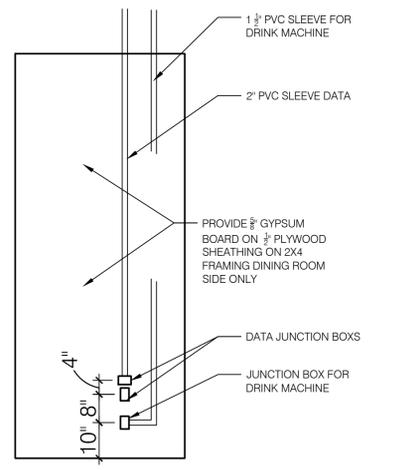
NORTH ELEVATION 1/4" = 1'-0" E

- 1 EXISTING BUILDING SIGNS TO BE REMOVED. KEEP DO NOT DISCARD
- 2 EXISTING TOWER FINISH TO BE REMOVED. EXISTING ROOF DRAINS WITHIN TOWER TO REMAIN.
- 3 EXISTING WINDOW TO BE REMOVED.
- 4 PORTION OF WALL OR TOWER TO BE REMOVED AS INDICATED. PROTECT EXISTING STRUCTURE AND STOREFRONT.
- 5 EXISTING FINISH TO BE REMOVED. STRUCTURE TO REMAIN. SEE DEMOLITION LEGEND.
- 6 NOT USED.
- 7 DEMO PORTION OF TOWER, AS SHOWN
- 8 EXISTING SIGN TO REMAIN, IF EXISTING.
- 9 DEMO PRICE CONFIRMATION. KEEP DO NOT DISCARD
- 10 DEMO BACKLIT AWNING IF PRESENT. IF THIS AREA IS A FRAMED SOFFIT NO CHANGES ARE REQUIRED.
- 11 DEMO STOREFRONTS AND REPLACE WITH NEW - USE CONTINUOUS HINGE ON DOOR SEE SHEET A1.1
- 12 DEMO DRIVE THRU WINDOW (*) AND REPLACE - OWNER TO PROVIDE
* ON SOME LOCATIONS THE WINDOW HAS ALREADY BEEN REPLACE
VERIFY WITH OWNER IF NEEDED BEFORE DEMO

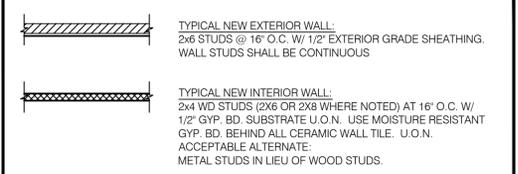
KEYNOTES C



FLOOR PLAN 1/4" = 1'-0" A



WALL ELEVATION 1/2" = 1'-0" 2



WALL LEGEND F

DECOR:
 A. SEE A2.0 FOR SEATING PLAN AND DETAILS.
 B. SEE A7.0 FOR FLOOR FINISHES.
 C. SEE A8.0 - A8.2 FOR WALL FINISHES.
 D. SEE A7.1 FOR CEILING FINISHES.

GENERAL:
 A. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
 B. ALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH.
 C. ALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFRS. APPROVED METHOD.

DIMENSIONS:
 A. DIMENSIONS THAT ORIGINATE FROM EXISTING ELEMENTS OF THE BUILDING ARE FROM FACE OF FINISH. ALL OTHER DIMENSIONS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.
 B. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MIN. 'REOD'. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:
 A. 'SEE SCHEDULE' FOR WINDOW AND DOOR TYPES.
 B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

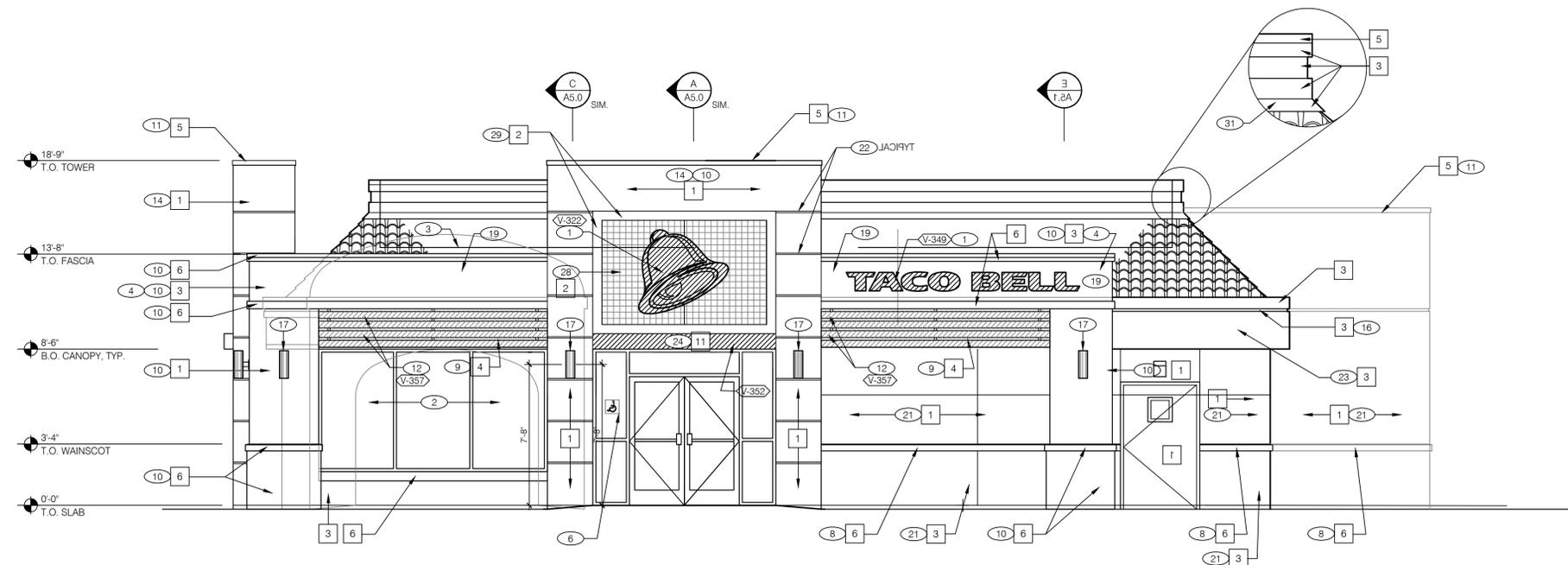
FINISH SUBSTRATES:
 A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.O.N.
 B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH 'NSF INTERNATIONAL' APPROVED SEALANTS.

FLOOR PLAN NOTES D

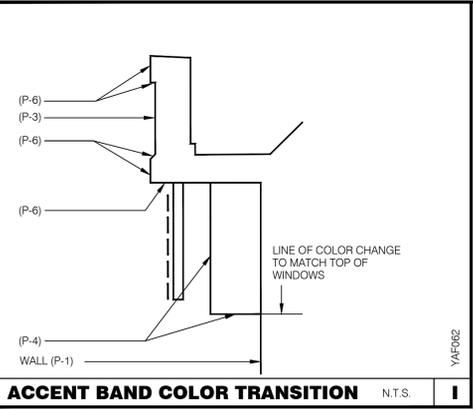
- 1 PATCH STUCCO OR E.I.F.S. AS NEEDED.
- 2 PROTECT KITCHEN EQUIPMENT DURING CONSTRUCTION. CONSTRUCT PLYWOOD BARRIER WITH SWING GATE.
- 3 EXISTING ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.
- 4 INFILL PORTION OF WALL AS INDICATED.
- 5 ERECT DUST BARRIER TO PROTECT KITCHEN DURING CONSTRUCTION.
- 6 REPLACE EXISTING WINDOW WITH RECTANGULAR WINDOW. SEE ELEVATIONS, A4.1.
- 7 NEW PLASTER.
- 8 MODIFY EXISTING TOWER. KEEP TOWER STRUCTURE. SEE A4.0 AND STRUCTURAL DRAWINGS.
- 9 MODIFY EXISTING TOWER. KEEP TOWER STRUCTURE. SEE A4.1 AND STRUCTURAL DRAWINGS.
- 10 REPLACE SUBSTRATE AS REQUIRED.
- 11 REPOSITION FLOOR SINK AS SHOWN, IF IT IS BEHIND NEW WALL.
- 12 COORDINATE DIMENSION WITH STOREFRONT LOCATION.
- 13 REPLACE CLOSET DOOR AND FRAME IF IN POOR CONDITION.
- 14 REAR TOWER WHERE OCCURS.
- 15 6" PVC CHASE FROM 12" A.F.F. TO ABOVE CEILING. EXTEND 3" THROUGH WALL.
- 16 6" PVC CHASE THROUGH WALL AT 12" A.F.F.
- 17 VERIFY THE DIMENSIONS OF THE DRINK STATION.
- 18 REMOVE EXISTING WATER HEATER AND REPLACE WITH ON DEMAND WATER HEATER.
- 19 REMOVE EXISTING MOP SINK AND REPLACE WITH NEW STAINLESS STEEL SINK - WATER HEATER TO BE MOUNTED ABOVE MOP SINK.
- 20 NEW 42" EMERGENCY EXIT DOOR.
- 21 RELOCATED GAS METER.

- 22 LINE WALLS AROUND SERVICE/ MOP SINK RECESS W/ STAINLESS STEEL FULL HEIGHT - REPAIR TILE FLOOR FINISH TO MATCH PRESENT - RELOCATE EXISTING OUTLET TO 18" BELOW CEILING FINISH FOR NEW INSTANTANEOUS WATER HEATER.
- 23 2X8 WALL SEE WALL LEGEND.
- 24 ALL NEW OUTLETS TO BE COORDINATED WITH OWNER BEFORE INSTALLATION.
- 25 (2) 1/2" CONDUITS FROM ACCESSIBLE CEILING TO FRONT COUNTER FOR DATA WIRING.
- 26 NEW LOCATION OF SPRINKLER TIMER AND TIME CLOCKS. FOR LIGHTING TO BE LOCATED ABOVE BACK EXIT DOOR.
- 27 POST OCCUPANT LOAD.
- 28 RELOCATE BAG IN BOX AND CO2 TANK - VERIFY WITH OWNER FOR NEW LOCATION.
- 29 ADD NEW OUTLET @ 72" A.F.F.
- 30 NEW 1/2" PLYWOOD SHEATHING AND FRP BOARD BOTH SIDES OF WALL. EXTEND BELOW NEW TILE BASE AND ABOVE LAY IN CEILING.
- 31 NEW FRP BOARD ALL WALLS. EXTEND BELOW NEW TILE BASE AND ABOVE LAY IN CEILING. STAINLESS STEEL CORNER GAIRD - FOR END WALLS WRAP ENTIRE END OF WALL, FOR CORNERS WRAP CORNER - EXTEND FROM TOP OF TILE BASE TO CEILING - DO NOT USE SCREW TO ATTACH STAINLESS STEEL.
- 32 ALL EXISTING SURFACE MOUNTED CONDUITS NEED TO BE ENCLOSED IN WALLS.
- 33 EXISTING OUTLET FOR WARMER NEEDS TO BE RELOCATED TO 70" OFF OFFICE WALL AND 12" BELOW CEILING CEILING.
- 34 PROVIDE 8"X8" PASS THRU FOR ICE MACHINE TUBING (24" FROM EXTERIOR WALL AND 12" A.F.F.) FINISH WITH STAINLESS STEEL EDGING.
- 35 4 OUTLETS @ 18" A.F.F. AND 2 OUTLETS @ 60" A.F.F. THIS WALL COORDINATE WITH OWNER.
- 37 SODA EQUIPMENT MOVED TO BACK CORNER.
- 38 VERIFY THAT SHUNT TRIP EXISTS TO SHUT OFF GAS, POWER, AND AIR HANDLERS IF FIRE SUPPRESSION SYSTEM IS TRIPPED - ADD IF NEEDED.
- 39 LINE WALLS BEHIND COOK LINE W/ STAINLESS STEEL FULL HEIGHT (TOP OF COVED TILE TO HOOD) WRAP CORNER 18".

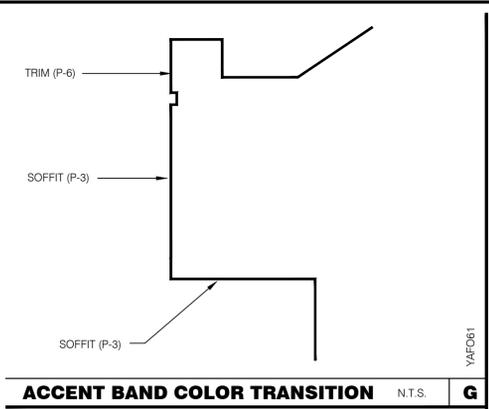
KEY NOTES B



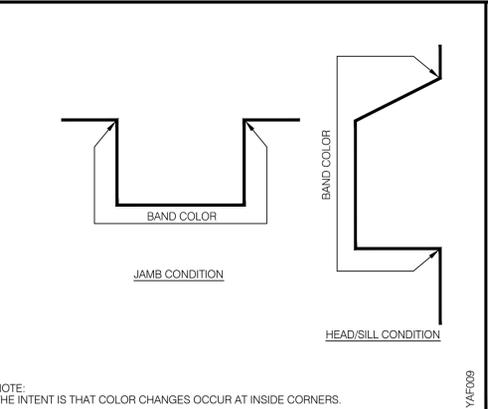
SOUTH ELEVATION 1/4"=1'-0" **A**



ACCENT BAND COLOR TRANSITION N.T.S. **I**



ACCENT BAND COLOR TRANSITION N.T.S. **G**



ACCENT BAND COLOR TRANSITION N.T.S. **E**

NOTE: THE INTENT IS THAT COLOR CHANGES OCCUR AT INSIDE CORNERS.

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	COLOR
1	MAIN WALL COLOR	SHERWIN WILLIAMS	CAMELBACK SW6122	STO LOTUSAN	NA08-0011
2	ALUMINUM PANEL	STOUT SIGNS	ALUMINUM PANEL WITH EMBOSSED 4X4 PATTERN MFR: STOUT SIGNS CONTACT: JIM GUNDERSON (314) 385-4600		PURPLE
3	ACCENT WALL COLOR	SHERWIN WILLIAMS	ROOKWOOD CLAY SW2823	STO LOTUSAN	NA08-0010
4	ACCENT COLOR	SHERWIN WILLIAMS	CLEMETAS SW6831		
5	CONTINUOUS PARAPET CAP	SHERWIN WILLIAMS	IRON ORE SW7069		
6	ACCENT WALL COLOR	SHERWIN WILLIAMS	UMBER SW6146		
7	PIPE BOLLARDS	SHERWIN WILLIAMS	DOT YELLOW		
11	HANDRAILS & TRANSFORMER HOUSINGS (WHERE OCCUR)	SHERWIN WILLIAMS	STATUS BRONZE SW7034		

EXTERIOR FINISH SCHEDULE **H**

MISCELLANEOUS
A. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
B. PROVIDE BLOCKING FOR SIGNAGE, TRELIS AND CANOPY.
C. DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.

SEALERS (REFER TO SPECS):
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

▨ DENOTES ITEMS SUPPLIED AND INSTALLED BY SIGN VENDOR.
□ DENOTES EXTERIOR FINISH.

○ DENOTES SIGN/AWNING/CANOPY ITEMS - VENDOR SUPPLIED AND INSTALLED. SEE THE SCOPE OF WORK SHEETS.

2. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY

GENERAL NOTES **F**

V-XXX	QTY	ITEM DESCRIPTION	ELEC
V-322	2	TACO BELL 'BELL' SIGN 4'-10 1/2" W x 4'-6 1/4" H WITH WHITE BACK AND 5-1/2" STAND-OFFS	X
V-349	2	TACO BELL LETTERS 12" HIGH, WHITE, FLAT FACED	X

SIGN SCHEDULE N.T.S. **D**

V-XXX	QTY	ITEM DESCRIPTION	ELEC
V-308	1	TB DT CANOPY 14'-6" W/TB LETTERS	X
V-351	1	TACO BELL NEW IMAGE ENTRY EYEBROW 10'-0"	X
V-352	1	TACO BELL NEW IMAGE ENTRY EYEBROW 10'-0"	X
V-353	1	TACO BELL NEW IMAGE REMODEL SLAT WALL SEGMENT 9'-0"	X
V-357	1	TACO BELL NEW IMAGE REMODEL SLAT WALL SEGMENT 12'-6"	X

APPURTENANCES SCHEDULE N.T.S. **D1**

- 1 NEW BUILDING SIGN - UNDER SEPARATE PERMIT. SEE SCOPE OF WORK.
- 2 EXISTING STOREFRONT TO REMAIN
- 3 INDICATES ROOF BEYOND.
- 4 FOR SOFFIT PAINTING DIRECTIONS, SEE 1/A4.0
- 5 GAS METER, DO NOT PAINT METER.
- 6 PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT 60" A.F.F.
- 7 CONTINUE PAINT COLOR INDICATED AT BOTTOM OF FASCIA TO SOFFIT.
- 8 HORIZONTAL TRIM BAND. SEE G/A5.1 & E/A4.0. BAND PAINT COLOR SHALL BE APPLIED TO TOP, BOTTOM AND FACE OF BAND.
- 9 IF LIGHT BOXES OCCUR, REMOVE AND CONSTRUCT NEW SOFFIT PER DETAIL 1/A6.1 PROVIDE 6" CLEARANCE BETWEEN SLATS AND FACE OF SOFFIT.
- 10 E.I.F.S. (TYP.)
- 11 METAL COPING.
- 12 FABRICATED ALUMINUM SLATS BY VENDOR WITH LED LIGHTING - 11
- 13 NEW CANOPY. VERIFY SUPPORT AND BACKING REQUIREMENTS. SEE SCOPE OF WORK AND H/A5.1.
- 14 MODIFY EXISTING TOWER. SEE SHEET A5.0.
- 15 EXISTING CRICKET. REPAIR ROOFING AS NEEDED
- 16 REMOVE INTERNALLY ILLUMINATED SOFFIT, AND REFER TO DETAIL 1/A6.1 FOR FRAMED SOFFIT.
- 17 WALL LIGHTING, CENTER ON TOWER LEG. SEE MOUNTING HEIGHT ON SHEET E4.0.
- 18 EXISTING SWITCHGEAR CABINET. PAINT.
- 19 NEW 'BEAM'. SEE E & G/A5.1.
- 20 PAINT ALL ROOF FLOOD LIGHTS COLOR BRONZE
- 21 PATCH AND REPAIR EXISTING E.I.F.S.
- 22 1" U" GROOVE AT TOWER
- 23 FRAMED SOFFIT. SEE DETAIL 1/A6.1, IF NOT EXISTING.
- 24 10'H x 12' DEEP BREAK METAL TRIM BY SIGN VENDOR
- 25 REAR TOWER, WHERE OCCURS.
- 26 EXISTING SIGN, WHERE OCCURS.
- 27 NEW STOREFRONT AND GLAZING
- 28 CONTINUE E.I.F.S. BEHIND ALUMINUM PANEL.
- 29 1X6 TRIM ANGLE
- 30 1X4 TRIM ANGLE
- 31 VERIFY TRIM IS IN GOOD CONDITION BEFORE PAINTING - COORDINATE WITH OWNER

- △ BASE THICKNESS - 1" THICK STUCCO/E.I.F.S. W/ HIGH IMPACT MESH TO HEIGHT OF 6'-0" A.F.F.
- ⊖ HORIZONTAL TRIM BAND - 1 1/2" THICK STUCCO/E.I.F.S., WITH 5-1/2" VERTICAL DIMENSION.
- ⊕ EXPRESSION PANEL BANDS - 2" THICK STUCCO/E.I.F.S. x 6" WIDE.

ALL NEW STUCCO/E.I.F.S. TO HAVE A LIGHT SAND FINISH UNLESS IT MUST BLEND WITH AN EXISTING CONTRASTING FINISH.

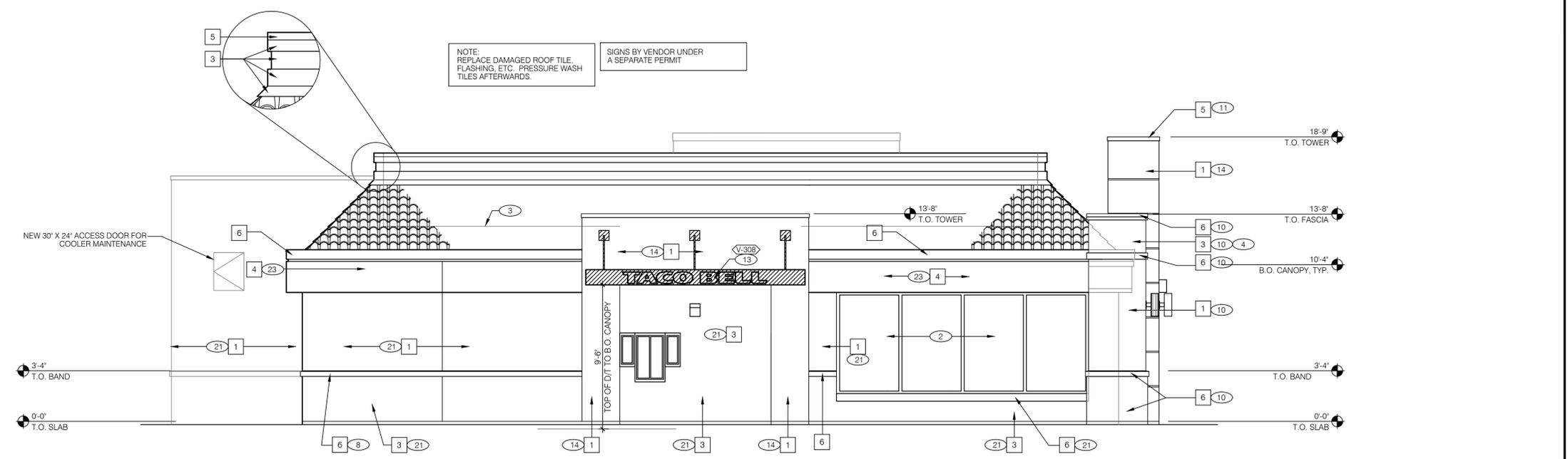
E.I.F.S. THICKNESS N.T.S. **B**

E.I.F.S. SHALL MEET THE PERFORMANCE CHARACTERISTICS REQUIRED IN ASTM E 2568
E.I.F.S. WITH DRAINAGE SHALL HAVE 90 PERCENT DRAINAGE EFFICIENCY WHEN TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM E 2273
E.I.F.S. SHALL COMPLY WITH SECTION 1403 OF THE IBC
WATER RESISTIVE BARRIER SHALL COMPLY WITH SECTION 1404.2 OF THE IBC AND ASTM E 2570
INSTALLATION SHALL COMPLY WITH E.I.F.S. MANUFACTURERS INSTRUCTIONS AND THE PROVISIONS OF SECTIONS 1704.1 AND 1704.14 OF THE IBC.

E.I.F.S. NOTES N.T.S. **B1**

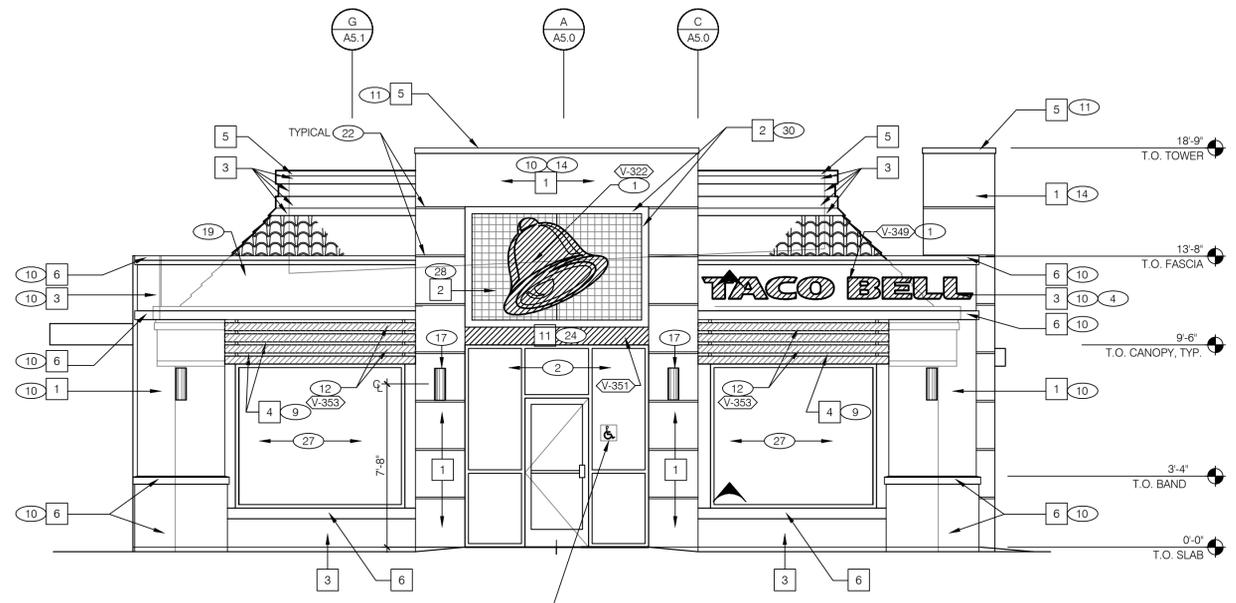
KEY NOTES **C**





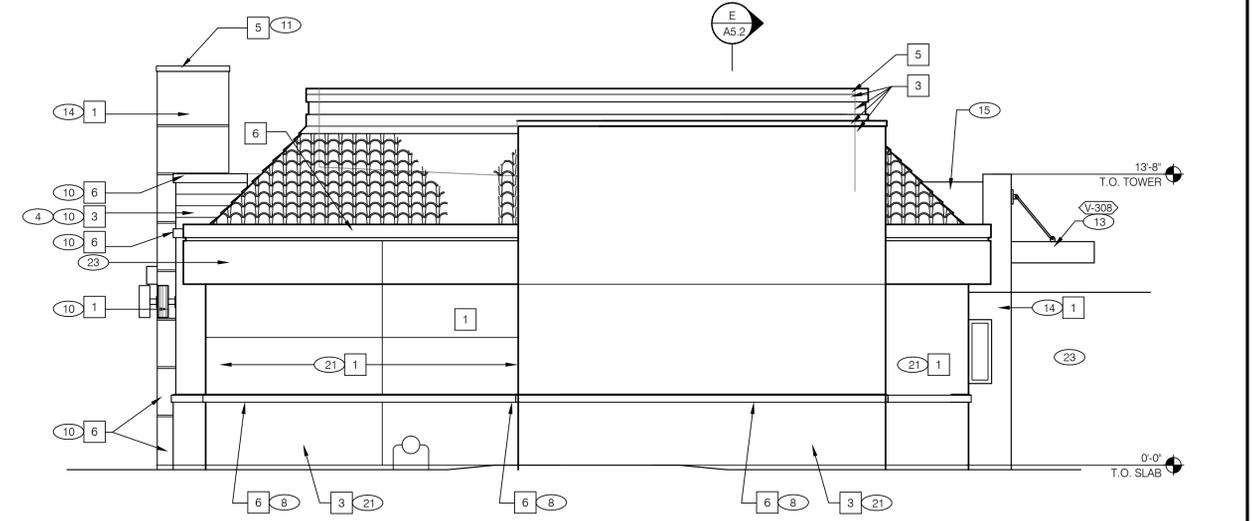
SEE SHEET A4.0 FOR KEYNOTES.

NORTH ELEVATION 1/4" = 1'-0" A



ENTRANCES SHALL BE IDENTIFIED WITH A SIGN OR STICKER OF THE STANDARD ACCESSIBILITY LOGO

WEST ELEVATION 1/4" = 1'-0" C



EAST ELEVATION 1/4" = 1'-0" B





Planning Commission

STAFF REPORT

AGENDA ITEM
#8

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Public Hearing, Discussion and Possible Action on **CUP 1405-0002**: a request by Dan Thompson for Conditional Use Permit for a church within an existing structure, located at 225 N. Main Street (TIN: 12-020-0048). The property is approximately 0.22 acres and lies in the Commercial (C-2) zoning district.

RECOMMENDATION

Move to **approve as conditioned**, CUP 1405-0002, a Conditional Use Permit for a church, in the C-2 (Commercial) zoning district located at 225 N. Main St., based on the findings and discussion in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Layton Islamic Center
Site Location	225 N. Main Street
Tax ID Number	12-020-0048
Applicant	S. M. Ahmed – Islamic Society of Layton
Property Owner	Dan Thompson
Proposed Actions	Site Plan Approval
Current Zoning	C-2 (Commercial)
Master Plan Land Use	Mixed Use
Gross Site Area	Approx. 0.22 acres (9583 SF)
Existing Building SF	Approx. 1,700 SF

Vicinity and Zoning Map



ANALYSIS

Conditional Use Permit Review

The purpose of the CUP is to allow a land use that, because of its unique characteristics or potential impact on the municipality, surrounding neighbors, or adjacent land uses, *may* be compatible only if certain conditions are imposed that mitigate or eliminate the detrimental impacts.

The request for a Conditional Use Permit (CUP) for a church use is consistent with the City's Land Use Ordinance as this use is permitted with an approved CUP in the C-2 zoning district. The location of the church is on Main Street within an existing commercial building, and is generally compatible with all surrounding commercial uses. The structure is planned to be renovated on the inside to facilitate offices and prayer areas. The applicant indicates that the current congregation is under 15 people and future growth is unexpected at this time.

Parking, Circulation, and Access

No further mitigation measures are anticipated to be required. The site is fully developed with ample parking, adequate circulation and appropriate access to and from a major arterial as indicated in the Site Plan review SP-1405-0002. The site shares a common driveway access point with the property to the north, but staff cannot find any record of complaints or issues with

the shared drive access. It is difficult to mitigate any issues at this time due to the structure at 245 N. Main Street being currently vacant. Staff will monitor any detrimental impacts that the shared driveway may create as businesses occupy the building to the north.

Public Comment

No public comment has been received to date.

GENERAL STANDARDS

Conditional Use Permit Review

Clearfield Land Use Ordinance Section 11-4-3 establishes the general standards and determination the Planning Commission shall make to approve Conditional Use Permits. The findings and staff’s evaluation are outlined below:

General Standard	Staff Analysis
<p>DETERMINATION: A Conditional Use Permit shall be approved if conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the standards set forth [in the Land Use Code]. If the reasonably anticipated detrimental impacts or effects of the proposed conditional use cannot be substantially mitigated or eliminated by the proposal or the imposition of conditions to achieve compliance with the standards set forth [in the Land Use Code], the Conditional Use Permit may be denied.</p>	
<p>1) <i>Equivalent to Permitted Use:</i> Any detrimental impacts or effects from the proposed use on any of the following shall not exceed those which could reasonably be expected to arise from a use that is permitted in the zone:</p> <ul style="list-style-type: none"> a. The health, safety, and welfare of the City and its present and future inhabitants and businesses; b. The prosperity of the City and its present and future inhabitants and businesses; c. The peace and good order, comfort, convenience and aesthetics of the City and its present and future inhabitants and businesses; d. The tax base; e. Economy in governmental expenditures; f. The State’s agricultural and other industries; g. The urban and nonurban development; h. Access to sunlight for solar energy devices; or i. Property values. 	<p>The requested church use is proposed to be located in an existing commercial structure, surrounded by other commercial uses in the immediate vicinity. No detrimental impacts are anticipated, as all the surrounding uses are compatible and the site is fully developed and has capacity for the required parking, circulation and access necessary for a church use.</p>

2)	<p><i>Impact Burden:</i> Any cost of mitigating or eliminating detrimental impacts or effects in excess of those which could be reasonably expected to arise from a permitted use shall become a charge against the development so as not to constitute a burden on the municipality, surrounding neighbors, or adjacent land uses.</p>	<p>The existing site is conducive to handling the traffic, parking, and related uses of a small congregation church use.</p>
3)	<p><i>Conform to the Objectives of the General Plan:</i> The proposed conditional use shall not limit the effectiveness of land use controls, imperil the success of the General Plan for the community, promote blight or injure property values.</p>	<p>The proposed use does not limit the effectiveness of land use controls or the success of the General Plan. The proposed use is not anticipated to promote blight or injure property values.</p>

CONDITIONS OF APPROVAL

- 1) This Conditional Use Permit is for a church use located at 225 N. Main St. This Conditional Use Permit approval is intended for the sole use of the applicant as it relates to this application.
- 2) The applicant shall provide proof of having obtained and of having maintained, as may be periodically requested by the City, all applicable local, state, and federal permits.
- 3) Provide proof of legal vehicle access (ingress/egress) to the property.
- 4) Parking must be contained on-site, or applicant must provide an easement or use agreement from the adjacent property if parking is to be shared between the sites.

ATTACHMENTS

None provided with this application.



Planning Commission

STAFF REPORT

AGENDA ITEM
#9

TO: Planning Commission

FROM: Scott A. Hess
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Public Hearing, Discussion and Possible Action on **FSP 1405-0003**: A request by Michael Christensen, on behalf of Thackeray Company's, for a Final Subdivision Plat review for Phase 1 on an approved Mixed-Use Development on approximately 70 acres located at 1250 S. State Street (TIN: 12-066-0071, 12-067-0139).

RECOMMENDATIONS

- 1.) Move to **continue item to July 2, 2014** FSP 1405-0003, Clearfield Station Final Subdivision Plat located at 1250 S. State Street (TIN: 12-066-0071, 12-067-0139) based on discussion and findings in the staff report.

PROJECT SUMMARY

Project Information	
Project Name	Clearfield Station
Site Location	1250 S. State (SWC of State Street and 1000 East)
Tax ID Number	12-066-0071, 12-067-0139
Applicant	Michael Christensen Thackeray Garn Company
Owner	Utah Transit Authority (UTA) Curtis Clayton, Representative
Proposed Actions	Phase 1 - Final Subdivision Plat
Current Zoning	MU (Mixed Use)
Land Use Classification	Mixed-Use
Gross Site Area	70 acres

Surrounding Properties and Uses:	Current Zoning District	Comprehensive Plan Land Use Classification
North	Clearfield City Cemetery, agricultural properties with existing residences and Shady Grove Mobile Home Park	R-2 (Multi-family Residential) A-1 (Agricultural) C-2 (Commercial)
East	State Street, various commercial developments (e.g. Lucky Auto, Jim's Tires, Noah's Auto, Almosta Junction)	C-2 (Commercial)
South	Oakstone Apartments and Townhomes	R-3 (Multi-Family Residential)
West	Union Pacific Railroad, then developed Industrial properties	M-1 (Manufacturing)

ANALYSIS

Master Plan and Zoning

Clearfield Station Transit Oriented Development was approved through the Master Development Plan and Master Development Agreement process in a City Council meeting on March 11, 2014. The Preliminary Plat for the entire 70 acre site was approved on May 7, 2014 by the Clearfield Planning Commission. The current request is for Final Subdivision Plat approval for Phase 1 of the development.

The plans submitted for Phase 1, although not complete, are in substantial conformance with the approved Preliminary Plat. The plans are also in substantial conformance with the Master Development Plan and the Mixed-Use Zone requirements.

Phase 1 Final Subdivision Plat Planning Review

The Phase 1 Final Subdivision Plat for Clearfield Station was submitted to the City based on a very tight review timeframe in hopes that the submittal would be thorough and not require many corrections. A meeting was scheduled on May 27, 2014 between the City and the Developer to discuss specifics of the Final Plat application as it was submitted. It was decided in the meeting that the plans were not complete enough for the City to perform a comprehensive review, and it was recommended that the application be pushed back in order to give time to the applicant's engineer time to develop a more thorough and complete submittal. Staff recommends that the Planning Commission hold the noticed public hearing, provide direction to staff, and continue the item and the public hearing to the Planning Commission meeting scheduled for July 2, 2014.

Strictly from the planning department perspective, there are a couple of very small changes that the Planning Commission should be aware of. These changes revolve around the access points to State Street and 1000 East. The developer has been working with the property owner of Shady Grove Mobile Home Park and has been unsuccessful in obtaining a right-of-way easement for the northern entrance point into the development. For this reason, the northernmost access point has been shifted south slightly to accommodate the necessary curve radius that will be needed for vehicles to turn from State Street into the development. This change may result in the Flex Business Buildings in Phase 1 being slightly smaller than previously planned, but does not change any other terms of prior agreements. The southernmost access connecting to 1000 East is shown on the plans as a direct 90 degree intersection. The eventual connection of this road will be a slight curve which will connect to a future road out on State Street after the intersection has been moved. For Phase 1, the access points will function, and can be approved as an interim solution.

Fire Department Review

North Davis Fire District (NDFD) worked with the applicant in the Preliminary Plat stage to best incorporate fire infrastructure into the development as a whole. NDFD was comfortable with the submittal strictly from a fire perspective based review of the Preliminary Subdivision Plan and based on a letter to Clearfield City Community Development on April 29, 2014. The comments focus on location of fire risers and fire-fighting infrastructure provided throughout the development. Exact locations of public utilities and fire infrastructure will be reviewed in detail when the complete phase 1 submittal has been provided.

Public Works Review

Clearfield City Public Works has performed an initial review of all public utilities, roads, and infrastructure impacts within the development. Their primary concerns are assuring that the plans correctly reflect locations of utilities and details related to functionality of the infrastructure systems. Public Work's has requested a great deal of additional information that the applicant will be providing on a revised Phase 1 Final Subdivision Plat submittal.

Engineering Review

The City Engineer indicated a number of concerns specific to infrastructure improvements as they were shown on the submittal. The concerns mostly revolve around questions about sewer capacity in 1000 East, and whether the pump and lift station will work within the capacities of the City's sewer system. The developer has a strategy to flow test the current sewer system, and will report findings back to the City Engineer prior to the next Planning Commission meeting. Also, concerns over lack of detail on sewer and water systems as a whole helped drive the decision to push the recommended approval back to July. The applicant will be responding to the request for additional information and detail from the City Engineer and will be providing that detail in the revised Phase 1 Subdivision Plat submittal.

Master Development Agreement

The proposed Final Subdivision Plat (FSP), although not yet in final form, is currently consistent with the MDA as approved by Clearfield City Council on March 11, 2014.

Public Comment

No additional public comment has been received outside of the previous public hearings.

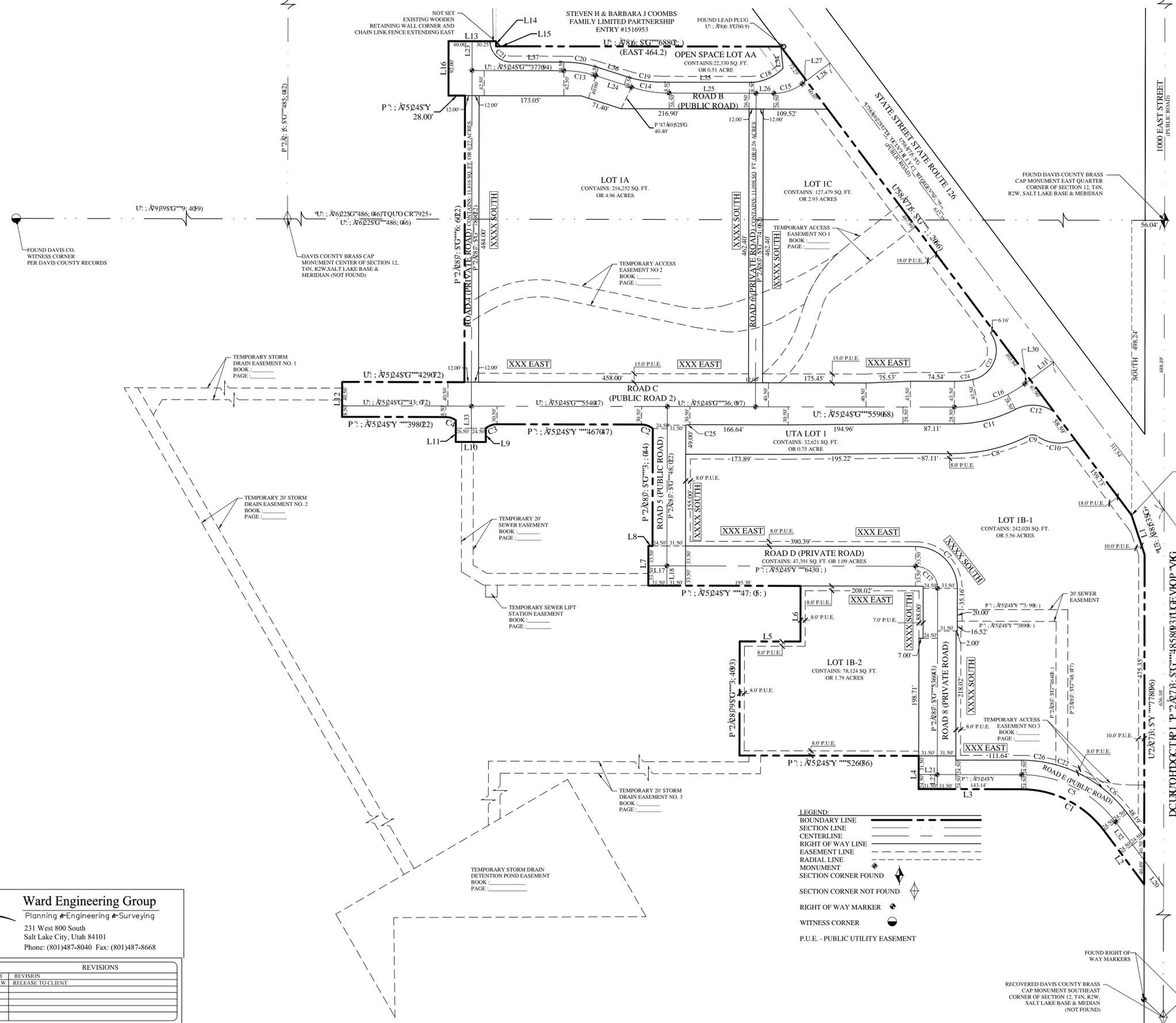
CONDITIONS OF APPROVAL

- 1) The developer shall submit a final clean copy of the Final Subdivision Plat documents correcting all errors and omissions indicated by Staff Reviews.
- 2) The final engineering design (Improvement Plans) shall meet City standards and be to the satisfaction of the City Engineer.
- 3) The final Fire Infrastructure design shall meet North Davis Fire District standards and be to the satisfaction of the Fire Marshall.
- 4) Pursuant to the Subdivision Ordinance 12-4-5, an estimate of public improvements (as outlined in 12-4-6), shall be submitted, reviewed and approved by the City Engineer prior to obtaining building permits. An Escrow agreement will be subject to approval by the City Engineer and City Attorney and an escrow account shall be established prior to recordation of the Final Plat.
- 5) No building permits shall be issued or construction of buildings or improvements may begin until after recordation of the final plat. Final plat recordation may come in phases for large tract development.
- 6) All Final Subdivision Plat and Site Plan submittals shall be in substantial conformance with the approved Master Development Plan and Master Development Agreement.

ATTACHMENTS

1. Phase 1 Final Subdivision Plat dated May 29, 2014

CLEARFIELD STATION TOD PHASE 1
 LOCATED IN THE EAST HALF OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 2 WEST,
 SALT LAKE BASE & MERIDIAN. DAVIS COUNTY, UTAH.

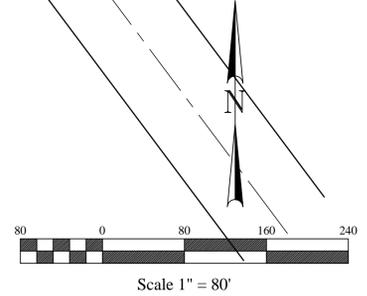


Line #	Length	Direction
L1	70.17	U8: A77328G
L2	113.18	P58A7715: SY
L3	174.64	P1: A75248Y
L4	56.00	P2A2877: SG
L5	103.14	U: A75248G
L6	94.00	P2A2877: SG
L7	67.00	P2A2877: SG
L8	7.00	U: A75248G
L9	23.22	P2A2877: SG
L10	51.00	P1: A75248Y
L11	36.72	P2A2877: SG
L12	59.00	P2A2877: SG
L13	80.50	U: A75248G
L14	8.53	U2A2877: SY
L15	17.23	U: A7876: SG
L16	92.00	U2A2877: SY
L17	31.50	P1: A75248Y
L18	33.50	P2A2877: SG
L20	54.81	P58A7715: SY
L21	31.50	U: A75248G

Line #	Length	Direction
L22	24.50	P2A2877: SG
L23	49.50	P2A2877: SG
L24	63.88	P94A3874: SY
L25	147.41	P1: A75248Y
L26	30.12	U: A75248G
L27	8.80	U7A26744SY
L28	50.00	U7A26744SY
L30	11.52	P75A4: F49SG
L31	50.00	P75A4: F49SG
L32	80.68	P58A7715: SY
L33	60.50	P2A2877: SG
L34	36.95	U7A2674: SG
L35	148.91	P1: A75248Y
L36	50.66	U9A2874: SG
L37	89.91	U: A75248G
L38	10.00	U: A75248G

Curve #	Length	Radius	Delta	Bearing	Chord
C1	162.21	175.50	74.09475	P85A6425Y	156.50
C2	20.58	30.00	5: A99695	P92A62: SY	20.17
C3	20.58	30.00	5: A99695	U92A: P65Y	20.17
C4	18.07	30.00	56.83275	P94A9925Y	17.80
C5	184.85	200.00	74.09475	P85A6425Y	178.34
C6	127.80	224.50	54.88795	P75A6285Y	126.08
C7	111.54	71.00	2: A22645	P66A4685Y	100.42
C8	131.03	278.50	48.09455	P98A: P88G	129.82
C9	15.99	15.00	83.064: S	P: 8A: P35Y	15.24
C10	66.42	65.00	7: A64675	U7A4428G	63.57
C11	107.50	228.50	48.09455	P98A: P88G	106.52
C12	69.29	65.00	83.064: S	P: 8A: P35Y	66.05
C13	54.86	178.50	39.88665	P: 3A6685Y	54.64
C14	59.93	195.00	39.88665	U: 3A6685G	59.70
C15	51.72	80.00	59.04685	P93A7628G	50.83
C16	127.90	200.00	58.8: E25	P93A9648G	125.74
C17	58.90	37.50	2: A22225	P66A5245Y	53.03
C18	63.40	80.00	67.06535	P89A6648G	61.76
C19	59.93	195.00	39.88665	U: 3A6685G	59.70
C20	59.93	195.00	39.88665	P: 3A6685Y	59.70
C21	54.98	35.00	2: A22225	U66A5248G	49.50
C22	21.00	224.50	7.0A3835	P94A8525Y	20.99
C23	100.82	50.00	337.83665	P42A77A: SG	84.59
C24	31.21	156.50	33.07885	P: 6A62: SG	31.16
C25	7.09	25.00	38.07895	P: 3A: 2: SG	7.07
C26	58.70	224.50	36.0: P85	P: 4A5665Y	58.54

POINT OF BEGINNING



- LEGEND:**
- BOUNDARY LINE
 - SECTION LINE
 - CENTERLINE
 - RIGHT OF WAY LINE
 - EASEMENT LINE
 - RADIAL LINE
 - MONUMENT
 - SECTION CORNER FOUND
 - SECTION CORNER NOT FOUND
 - RIGHT OF WAY MARKER
 - WITNESS CORNER
 - P.U.E. - PUBLIC UTILITY EASEMENT

COUNTY RECORDER		SHEET	
DAVIS COUNTY RECORDER		2 OF 2	
STATE OF UTAH, COUNTY OF DAVIS, RECORDED AND FILED AT THE REQUEST OF:		RECORD NO.	
DATE _____ TIME _____ BOOK _____ PAGE _____		PRINTED NAME OF COUNTY RECORDER	
FEES _____			

Ward Engineering Group
 Planning • Engineering • Surveying
 231 West 800 South
 Salt Lake City, Utah 84101
 Phone: (801)487-8040 Fax: (801)487-8668

No.	DATE	BY	REVISION
0	8/15/2011	DRW	RELEASE TO CLIENT

V:\2011 Projects\13-019 Clearfield TOD Phase 1 - Final\13-019 Clearfield TOD Phase 1 - Final.dwg 2 BR 8/15/2011 2:23pm



Planning Commission

STAFF REPORT

AGENDA ITEM

#10

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Public Hearing, Discussion and Possible Action on **ZTA 1404-0001** Zoning Text Amendment to Title 11, C-1 and C-2 Commercial Parking Regulations and Definition, to better define Commercial Parking Lots, and the conditions imposed for location and use of parking lots. This zoning text amendment would be effective across all Commercial Zones in Clearfield City.

RECOMMENDATION

1. Hold Public Hearing as noticed, and close or continue public hearing to a date specific meeting.
2. Consider information provided by staff.
3. Move to **recommend approval of ZTA 1404-0001 to the City Council**, an amendment to the Land Use Ordinance Title 11 C-1 and C-2 Commercial Parking Regulations and Definition, based on the findings and discussion in the Staff Report.

ANALYSIS

On April 22, 2014, the Clearfield City Council enacted a temporary land use regulation regarding parking lots and facilities which was applicable to all commercially zoned property within Clearfield City. The Ordinance passed by City Council, number 2014-08, includes a number of findings used to support the temporary land use regulation. The City Council asked Staff and the Planning Commission to review the parking ordinance within Commercial Zones and recommend language that would protect the City's remaining prime commercial property from being developed into parking lots that are not necessarily tied to a formal use. In other words, commercial zones would not allow stand-alone parking, but rather would require parking to be an accessory use on the property subordinate to a primary use on the parcel.

Planning Commission opened a public hearing on this zoning text amendment on May 7, 2014 and continued the item to the June 4, 2014 meeting. In that time, the City Council also opened a public hearing on May 27, 2014. The public is encouraged to participate in the conversation and provide feedback to help drive the best decisions possible.

Staff's intent in presenting ordinance amendment language is to provide a fair amendment which best serves the City's residents as well as protects both current and future business and property owners in Clearfield City by preventing the consumption of crucial remaining commercial properties for less than ideal uses.

Proposed Ordinance Changes

In order to satisfy the request of the City Council and to provide protection for the very limited amount of remaining commercially viable property in the City, the following are the proposed ordinance changes.

1. Amend the definition of "Commercial Parking" to require these types of facilities to be pay lots. The potential definition could read as follows: "A garage or parking lot used for commercial purposes and open to the public for a fee where vehicles may be parked for not more than five (5) days."
2. Amend the location of "Commercial Parking" to remove the use within B-1, C-1, C-2, C-R and D-R Zones (will be allowed in M-1, MU, PF Zones).
3. Add "Commercial Parking" as a pay parking lot use within the Mixed-Use MU Zone. The area immediately surrounding the UTA Transit station may be one that is viable for a commercial pay lot in the future. Other MU projects may benefit from the same allowance depending on uses and site specifics within those projects in the future.
4. Amend the definition of "Parking Lot" to require the facility to be provided specifically for a primary use or building on the same property as the parking will be located, as well as require that the use be entirely located within Clearfield City.
5. Add a provision to the language for off-site parking to include a requirement that uses must be located within Clearfield City as indicated below in italics: Alternatives To On Site Parking: For any new use, structure or building which must be located entirely within Clearfield City (*located entirely within Clearfield City*), required off street parking may be provided on other property not more than a two hundred foot (200') distance from the nearest point of the parcel, and shall not require persons to cross a public street. The planning commission may consider such alternatives through the site plan process. (*Off-site parking shall not be allowed for dwellings or to accommodate parking needs for property located outside Clearfield City*) (Ord. 2009-41, 11-24-2009)
6. Add "Parking Lot" as a use within the Permitted Uses of the PF zone for the case of parks, city buildings, or other city needs to assure that there is a legal established parking use within Public Facility Zones. The areas zoned PF may or may not be owned and maintained by Clearfield City.

Master Plan

The Clearfield City Master Plan states in Community Vision, "2. Promote Clearfield as a regional center for manufacturing, governmental, and commercial facilities with excellent accessibility and a high-quality business environment". Also, "3. Encourage redevelopment to take full advantage of Clearfield's strategic location with respect to major rail and highway amenities and proximity to air transportation." In addition to the Community Vision, the Current Zoning section of the Master Plan discusses within each Commercial Zone for the city that the goal is to expand and develop viable commercial properties to their highest and best use. Limiting the ability to cover key commercial pieces of ground solely with surface parking meets the intent and the language of the Clearfield City Master Plan.

Public Comment

No public comment has been received to date.

FINDINGS

Zoning Ordinance Text Amendment

Clearfield Land Use Ordinance Section 11-6-3 establishes the following findings the Planning Commission shall make to approve Zoning Ordinance Text Amendments. The findings and staff's evaluation are outlined below:

Review Consideration		Staff Analysis
1)	The proposed amendment is in accordance with the General Plan and Map; or	As indicated in the staff analysis above, staff feels that an amendment to the City Code is necessary and appropriate to protect limited prime commercially zoned properties within the City.
2)	Changed conditions make the proposed amendment necessary to fulfill the purposes of this Title.	The changed conditions requiring an amendment to the City Code at this time are both the limited remaining prime commercial land, and concerns about neighboring cities with viable commercial properties who may be interested in utilizing Clearfield City properties as surface parking areas.

ATTACHMENTS

None provided with this item.



Planning Commission

STAFF REPORT

AGENDA ITEM

#11

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Public Hearing, Discussion and Possible Action on **ZTA 1404-0002** Zoning Text Amendment to Title 11, Chapter 5 to propose standards for Administrative Site Plan reviews. This zoning text amendment would be effective across all Zones in Clearfield City.

RECOMMENDATION

1. Hold Public Hearing as noticed, and close or continue public hearing to a date specific meeting.
2. Consider information provided by staff.
3. Move to **recommend approval of ZTA 1404-0002 to the City Council**, an amendment to Title 11, Chapter 5 to propose standards for Administrative Site Plan reviews, based on the findings and discussion in the Staff Report.

ANALYSIS

Clearfield City Code 11-5 Site Plan Review regulates the review and approvals of all Site Plans within the City. Site Plan review is required for: 1) new development except single-family detached dwellings, and 2) exterior modifications to existing structures or sites including, but not limited to, adding equipment, landscaping, or parking. City Code § 11-5-3, Application Review Procedure, lays out twelve specific criteria to be considered for Site Plan Reviews. Following the criteria in the code helps lead to predictable reviews and recommendations.

Currently, the review body for all Site Plans is the Planning Commission. While the requirement to bring all Site Plans to the Planning Commission has helped drive quality developments, it can become a time burden on the Planning Commission to review very minor items that are required based on the current procedures. Also, from the applicant's perspective waiting for the Planning Commission to review what seems to be a very minor or insignificant project can be frustrating.

Planning Commission opened a public hearing on this zoning text amendment on May 7, 2014 and continued the item to the June 4, 2014 meeting. In that time, the City Council also opened a public hearing on May 27, 2014. The public is encouraged to participate in the conversation and provide feedback to help drive the best decisions possible.

Proposed Changes

Staff is proposing a change to the Site Plan Review section of the City Code to allow for Administrative Site Plan Reviews for minor site plans, or those that have a limited impact burden on city infrastructure and neighboring developments. Clearfield City has the benefit of having a very well defined review procedure codified which with Administrative Site Plan Reviews would allow applicants to move forward on minor projects and site changes much faster, and without the time burden of waiting for Planning Commission meetings once per month. Decisions of the Zoning Administrator issued on Administrative Site Plan Reviews would be subject to appeal to the Planning Commission.

(Discuss that perhaps the CED Director approves the decision of whether or not an item is Administrative Review)

On May 7, 2014 the Planning Commission asked staff to consider some form of Site Plan Review Committee. The ordinance change as written would require a written letter from the Building Official, City Engineer, Public Works, Fire Department, and Planning Department. While this isn't a committee of people, it is an opportunity for multiple eyes to be placed on any review whether Administrative or by the Planning Commission. Staff feels that the creation of a new Site Plan Review Committee is outside of the scope of the intent of an Administrative Site Plan change, and that there are controls built into the Administrative Site Plan process through the multiple reviews that must occur prior to a decision being rendered by the Zoning Administrator. Also, the process has continued to keep the Planning Commission apart from Administrative Site Plan decisions. This is to ensure that the Planning Commission can act as the Appeal Body without being party to the original discussion and decision made by the Zoning Administrator.

Proposed Ordinance Changes/Additions

Staff would propose to following additions and amendments to Title 11, Chapter 5 Site Plan Review as indicated below:

Chapter 5
SITE PLAN REVIEW (**AMENDED LANGUAGE**)

11-5-1: PURPOSE:

11-5-2: PROCEDURES:

11-5-3: APPLICATION REVIEW PROCEDURE:

11-5-4: ISSUANCE OF PERMIT:

11-5-5: EXPIRATION OF APPROVAL; EXTENSION:

11-5-6: APPEAL:

11-5-1: PURPOSE:

The purpose and intent of site plan review is to assure that the general appearance of buildings and structures and the improvement of land shall contribute to the stability of land values, the protection of investments, the attractiveness of the neighborhood and the general welfare of the community. It is not the purpose of this chapter that design should be so rigidly controlled so as to stifle creativity or individual expression, or that substantial additional expense be incurred; rather, it is the intent of this chapter that any controls exercised be the minimum necessary to achieve the objectives as stated above. (Ord. 2009-21, 11-24-2009)

11-5-2: PROCEDURES:

A. Review Required: Site plan review shall be required for all of the following:

1. All proposed new development except single-family detached dwellings.
2. Exterior modifications to existing structures or sites, except single-family detached dwellings. This includes, but is not limited to, adding equipment, landscaping or parking.

B. Application: Application for site plan review shall be made in writing by the property owner or their certified agent on forms prepared by the community development department. The planning and zoning administrator shall review the site plan application when it is submitted to see that all information and items required by this title are included in the application. The planning and zoning administrator shall not perform an Administrative Site Plan Review, or place any site plan on the planning commission agenda until all items required have been submitted or are omitted for good cause.

C. Contents Of Plan: Applications for site plan review shall be accompanied by three (3) full size (24 inch x 36 inch) and five (5) half size (11 inch x 17 inch) paper copies of site development plans and/or architectural drawings, and one electronic copy in a format approved by the community development department. All plans shall be drawn to a standard scale (not smaller than 1 inch = 30 feet) and stamped by a licensed landscape architect or civil engineer, and shall contain the following:

1. The building lot and dimensions.
2. Existing building locations.
3. Proposed building locations.
4. Existing trees and shrubbery.
5. Proposed landscaping and fencing.
6. Vehicular and pedestrian access and circulation.
7. Off street parking facilities.
8. Location and width of abutting streets.
9. Existing and proposed utilities.
10. Architectural drawings at a scale no smaller than one-eighth inch equals one foot ($\frac{1}{8}'' = 1'$), sketches or perspectives of exterior elevations, structures, signs and indication of types of materials to be used. Said elevations or renderings must be sufficiently complete to show building heights and rooflines, exterior finish materials, the location and height of any walls, signs, light standards, openings in the facade, and the general architectural character of the building.

11. A full description of the proposed development with respect to type of use, density, height, construction, square footage, and unusual utility demands (including water needs).
 12. Vicinity map and north arrow.
 13. Location of existing and proposed streetlights (including style and height).
 14. The following statistical information shall also be provided:
 - a. Gross acreage of total project and acreage of phases (if applicable).
 - b. Square footage of all individual buildings (with square feet of intended uses in each building).
 - c. Building coverage (percent of overall site).
 - d. Number of parking spaces required (with ratios).
 - e. Number of parking spaces provided.
 - f. Open space (percent of overall site).
 - g. Current zoning of property.
 - h. Type of construction.
 15. Two (2) copies of a preliminary grading and drainage plan (stamped by a licensed engineer) showing existing and proposed contours at two foot (2') intervals. The existing contours shall extend a minimum of twenty five feet (25') beyond the property line. The plan shall also include any watercourse, storm drain pipe sizes, slopes and elevations, floodplains, unique natural features, natural hazards, proposed building finished floor elevation, etc.
 16. Any other information deemed necessary by the city.
- D. Fee: The application for site plan review shall be accompanied by the appropriate fee, as specified from time to time by the city council in the fee schedule. (Ord. 2009-21, 11-24-2009)

11-5-3: APPLICATION REVIEW PROCEDURE:

A. Planning Commission Land Use Authority Review: The planning commission Land Use Authority shall review all site plan applications, and shall determine if the proposed site development and architectural plans are consistent with this chapter and with the purposes and objectives of this title. The planning commission Land Use Authority shall approve, disapprove or approve subject to compliance with such modifications or requirements as may be deemed necessary to carry out the purposes of this chapter. (Ord. 2010-08, 6-22-2010)

B. Administrative Site Plan Review: The Zoning Administrator shall review all Site Plans eligible for administrative review. Administrative Site Plan reviews are subject to the Review Considerations as outlined in 11-5-3C.

Written determinations from the Zoning Administrator shall be sent to the Applicant, Planning Commission Chair, and City Departments for their records and review of the decision.

Site Plans eligible for Administrative Review must meet at least two of the following criteria:

1. Additions up to 10,000 square feet, or less than 10% of gross area of an existing building, whichever is less

2. Exterior modifications to multi-family residential, institutional, commercial, or industrial buildings that do not include additional residential units, or changes to access from state highways or approvals from state or federal agencies

3. Minor revisions to site plans previously approved by the Planning Commission that meet the standards of the zoning code, will not expand, intensify, or substantially change any approved site plan, landscape plan, or structure, and are consistent with the intent of the original approval

4. Exterior remodeling that affects color and materials, building design, location of utilities or other mechanical equipment within an existing or approved project that does not substantially change the appearance of the site or its structure

5. Changes in use requiring additional parking, where the proposed use will not cause increased impacts on existing infrastructure and public services, as determined by the Zoning Administrator, City Engineer, and Public Works Department, and the use is proposed in existing structures.

C. Site Plans not eligible for Administrative Review shall be reviewed by the Planning Commission.

CB. Review Considerations: The ~~planning commission~~ Land Use Authority shall consider the following matters and others when applicable in their review of site plan applications:

1. Traffic: The effect of the site development plan on traffic conditions on abutting streets.
2. Vehicle; Pedestrian: The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives and walkways.
3. Off Street Parking: Compliance of off street parking facilities with [chapter 14](#) of this title.
4. Loading And Unloading Facilities: The location, arrangement and dimensions of truck loading and unloading facilities.
5. Surfacing And Lighting; Parking: The surfacing and lighting of off street parking.
6. Screen Planting: The location, height and materials, of walls, fences, hedges and screen planting.
7. Landscaping: The layout and appropriateness of landscaping.

8. Drainage: The effect of the site development plan on city stormwater drainage systems.
9. Utility: The effect of the site development plan on city utility systems.
10. Building Locations: Consideration of building locations on the site, elevations and relation to surrounding areas.
11. Exterior Design: Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended.
12. Signs: Compliance of signs with [chapter 15](#) of this title and particular consideration to the location of signs upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.

DC. Staff Review: The building official, city engineer, and planning and zoning administrator shall review site plan applications and supporting materials prior to the application being considered by the ~~planning commission~~Land Use Authority. The building official, city engineer, and planning and zoning administrator shall provide ~~the planning commission with~~ a written recommendation for all the site plan reviews. (Ord. 2009-21, 11-24-2009)

11-5-4: ISSUANCE OF PERMIT:

A. Compliance Required: A building permit shall not be issued for any building or structure until the provisions of this chapter have been complied with. Any building permit issued shall ensure that development is undertaken in conformity to the approved site plan.

B. Landscaping And Recreation Facility Guarantee: The installation of all landscaping and recreation facilities shall be guaranteed in accordance with the provisions with section [11-13-23](#) of this title. (Ord. 2009-21, 11-24-2009)

11-5-5: EXPIRATION OF APPROVAL; EXTENSION:

Failure to obtain a building permit for an approved site plan within twelve (12) months of the date of approval by the ~~Land Use Authority~~planning commission shall result in the expiration of said approval. The ~~Land Use Authority~~planning commission may grant an extension for good cause shown for up to an additional six (6) months after the original date of approval. Applications for extension must be submitted to the community development department in writing prior to the expiration of the original permit. The application must describe the reason for the extension, and shall be accompanied by the fee set forth in the city's fee schedule. (Ord. 2010-08, 6-22-2010)

11-5-6: APPEAL:

All appeals to the provisions of this chapter shall be made in accordance with section [11-1-12](#) of this title. (Ord. 2009-21, 11-24-2009)

Master Plan

Clearfield City Master Plan states in the Community Vision, “7. Ensure that new development is of exceptional quality and expresses attractive architectural and site design standards consistent with its particular use and location.” In addition to the Community Vision, the Land Use Guidelines in Clearfield City Master Plan talk about community identity and “the relationship of planned land uses which should reflect consideration of existing development, environmental conditions, service and transportation needs, and fiscal impacts.” The Land Use Guidelines go on to state “development approval should be tied to construction of culinary water, sewer, storm drainage, and circulation systems.

The Site Plan review process is an implementation arm of these specific General Plan items. Administrative Site Plan reviews will be required to follow the same procedure as the current approval system, with the major change being that the Zoning Administrator can render decisions more quickly and efficiently and without the added time burden of waiting for an upcoming Planning Commission meeting. Staff does not see any conflict between language in the Clearfield City Master Plan, and the zoning text amendment being considered.

Public Comment

No public comment has been received to date.

FINDINGS

Zoning Ordinance Text Amendment

Clearfield Land Use Ordinance Section 11-6-3 establishes the following findings the Planning Commission shall make to approve Zoning Ordinance Text Amendments. The findings and staff’s evaluation are outlined below:

Review Consideration		Staff Analysis
1)	The proposed amendment is in accordance with the General Plan and Map; or	As indicated in the staff analysis above, staff does not see a conflict between current Master Plan language and the ability to perform Administrative Site Plan reviews. So long as Administrative Site Plan reviews are subject to the same review considerations as Planning Commission decisions.
2)	Changed conditions make the proposed amendment necessary to fulfill the purposes of this Title.	No conditions are being recommended for this ordinance change.

ATTACHMENTS

1. Table 11.1 Land Use and Appeal Authority (Revised)

TABLE 11.1 LAND USE AND APPEAL AUTHORITY

LAND USE APPLICATION	LAND USE AUTHORITY		APPEAL AUTHORITY			
	ADVISORY BODY	LAND USE AUTHORITY	1ST APPEAL		2ND APPEAL	
			DAYS TO APPEAL** *	BODY	DAYS TO APPEAL** *	BODY
General Plan or Map Amendment	Planning Commission	City Council	30	District Court	N/A	None
Land Use Ordinance or Map Amendment	Planning Commission	City Council	30	District Court	N/A	None
Subdivision Ordinance or Amendment	Planning Commission	City Council	30	District Court	N/A	None
Development Agreement	Planning Commission	City Council	30	District Court	N/A	None
Project Concept Plan*	Staff	Planning Commission	N/A	None	N/A	None
Site Plan	Staff	Planning Commission	10	City Council	30	District Court
Preliminary Subdivision Plat	Staff	Planning Commission	10	City Council	30	District Court
Final Subdivision Plat	Planning Commission	City Council	30	District Court	N/A	None
Conditional Use	Staff	Planning Commission	10	City Council	30	District Court
Administrative Site Plan	N/A	Staff	10	Planning Commission	30	District Court
Sign Permit	N/A	Staff	10	Planning Commission	30	District Court
Lot Split	Staff	Planning Commission	10	City Council	30	District Court
Lot Line Adjustment	Staff	Planning Commission	10	City Council	30	District Court
Amendment of Approved Subdivision Plat:						
Preliminary	Staff	Planning Commission	10	City Council	30	District Court
Final	Planning Commission	City Council	30	District Court	N/A	None
Variance	Staff	N/A	N/A	Planning Commission	30	District Court
Street or Alley Vacation	Staff	City Council	30	District Court	N/A	None
Annexations	Planning Commission	City Council	30	District Court	N/A	None
Administrative Approvals**	N/A	Staff	10	Planning Commission	30	District Court

Any appeal of a City Council decision shall be to the District Court.

In such cases where the appellant may choose either the City Council or District Court as the Appeal Body, the appeal must be filed in ten (10) days if to the Council, and thirty (30) days if to the District Court.

*Optional application, no decision rendered.

**Administrative approval include interpretations of the land use ordinance, etc.

***Calendar days from the time of written notification by the City of formal action on the application, or approval of the minutes of the meeting in which the action was taken, whichever occurs first.



Planning Commission

STAFF REPORT

AGENDA ITEM

#12

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: June 4, 2014

SUBJECT: Public Hearing, Discussion and Possible Action on **ZTA 1404-0003** Zoning Text Amendment to Title 11, Chapter 14 to propose standards for gravel parking areas within residential zones. This zoning text amendment would be effective across all Zones in Clearfield City.

RECOMMENDATION

1. Hold Public Hearing as noticed, and close or continue public hearing to a date specific meeting.
2. Consider information provided by staff.
3. Move to **recommend approval of ZTA 1404-0003 to the City Council**, an amendment to Title 11, Chapter 14 to propose standards for gravel parking areas within residential zones, based on the findings and discussion in the Staff Report.

ANALYSIS

Background

On November 24, 2009 Clearfield City Council passed Ordinance 2009-41 changing City Code to require all off street parking to be provided on an impermeable surface to be effective January 1, 2015. In early 2014, Clearfield City published a notice within the City Newsletter reminding residents about the gravel parking ordinance change. This Newsletter article generated a significant public response. Clearfield City Council requested staff to consider alternatives that were not such a financial burden on the residents of Clearfield City, and that would allow gravel parking surfaces in some form to remain in the Clearfield City Code.

An important consideration for the Planning Commission in amending the gravel parking ordinance is doing it in such a way that it still protects the City against harmful impacts of poorly maintained gravel parking areas. The City has an aging storm water infrastructure system that is sensitive to foreign material entering through inlets in gutters. In addition to that concern, the general maintenance of gravel driveways needs to be considered from an aesthetic standpoint. The City has done a significant amount of work over many years to help promote beautification and high quality development of the City. Any ordinance change needs to be careful to continue to promote the values of the community and the goals to lift and elevate the City.

Planning Commission opened a public hearing on this zoning text amendment on May 7, 2014 and continued the item to the June 4, 2014 meeting. In that time, the City Council also opened a public hearing on May 27, 2014. The public is encouraged to participate in the conversation and provide feedback to help drive the best decisions possible.

Proposed Ordinance Changes

In order to satisfy the request of the City Council and to move this item forward, the following ordinance changes are proposed.

1. Remove 11-14-5 B2 stating that gravel or crushed rock will no longer be permitted after January 1, 2015.
2. Add provision as follows: "Whenever gravel or crushed rock is used for accessory parking in a residential zone, the gravel must be a minimum of four inches deep, compacted, placed atop a weed barrier, be maintained to be completely free of grass and weeds, and contained with durable borders."
3. Add provision as follows: "Hard surfaced parking strips with a minimum width of two feet (2') each may be used for parking and maneuvering areas instead of a solid driveway. Landscaping as required in Title 11 Chapter 9 Residential zones must be installed and maintained in a healthy condition between the parking strips. (Do we want this...from an Environmental perspective it is less friendly?)"
4. Add provision as follows: "All new main residential driveway approaches and parking spaces required by this Title shall be surfaced with an asphaltic or concrete or other hard surfacing pavement material."
5. Add provision as follows: "All new parking surfaces developed within the City must be permitted and inspected."
6. Legally established and conforming gravel driveways installed prior to July 1, 2014 may continue to be utilized so long as they meet maintenance criteria set forth above and are maintained to be completely free of grass and weeds.

Master Plan

The Goals and Policies of the Land Use Element of the Master Plan relate to the ordinance amendment being proposed. Specifically Goal 4, "Revitalize Deteriorating Neighborhoods and Commercial Districts." Implementation Measure 2 and 3 state that Clearfield City should create ordinances that allow and encourage infill and redevelopment, and the City should continue to prioritize code enforcement and property maintenance throughout the city.

Gravel parking areas within residential zones can be aesthetically pleasing, and can be nuisance free, but that depends on how the gravel or crushed rock was installed and how it is maintained. The ordinance needs to be explicit in keeping these areas maintained, weed free, and fully contained on the parcel where they have been installed. As long as the ordinance can do that, then this code change can meet the goals of the Master Plan.

Public Comment

No public comment has been received to date.

FINDINGS

Zoning Ordinance Text Amendment

Clearfield Land Use Ordinance Section 11-6-3 establishes the following findings the Planning Commission shall make to approve Zoning Ordinance Text Amendments. The findings and staff's evaluation are outlined below:

Review Consideration		Staff Analysis
1)	The proposed amendment is in accordance with the General Plan and Map; or	As indicated in the staff analysis above, staff feels that any amendment to the residential surfacing requirements needs to be explicit and specific in order to meet the goals of the Master Plan. The ordinance can be shown to meet the goals and intent of the Master Plan through strict code enforcement and promoting the installation of high-quality accessory gravel parking areas within residential areas.
2)	Changed conditions make the proposed amendment necessary to fulfill the purposes of this Title.	The recent concerns raised by many property owners throughout the city due to the impending deadline of the surface requirement changing has created a condition where the elected officials have asked Staff to consider an amendment to the surface parking regulations.

ATTACHMENTS

None provided for this item.