



Community Development

Planning & Zoning, Building Inspections,
Business Licensing, and CDBG Administration

MEETING NOTICE OF THE CLEARFIELD CITY PLANNING COMMISSION

Notice is hereby given that the Clearfield City Planning Commission will hold a regularly scheduled meeting at **7:00 P.M., Wednesday, April 2, 2014** on the 3rd floor in the **City Council Chambers** of the Clearfield City Municipal Building, 55 S. State, Clearfield, Utah.

7:00 PM CALL TO ORDER-- PLEDGE OF ALLEGIANCE

1. ROLL CALL
2. APPROVAL OF THE AGENDA
(Items may be removed, continued to a later date, or addressed out of sequence)
3. APPROVAL OF MINUTES
 - A. February 5, 2014 – Continued from March 5, 2014
 - B. March 5, 2014

SCHEDULED ITEMS:

4. Discussion and Possible Action on **SP 1403-0001** a request by Hill Family Partnership LLC for Site Plan to consider automobile sales and repair, located at 140 N. Main Street (TIN: 12-001-0002). The property is approximately 0.47 acres and lies in the C-2 (Commercial) zoning district.
5. Discussion and Possible Action on **SP 1403-0002** a request by Blair Wall of NSC Superior LLC for Site Plan to consider approval of exterior modifications to an existing structure, located at 210 E. 700 S. (TIN: 12-638-0004). The property is approximately 22 acres and lies in the M-1 (Manufacturing) zoning district.
6. Discussion and Possible Action on **SP 1403-0003** a request by Classic Jack Construction for Site Plan to consider approval of expansion of office space for Holly Haven Apartments, located at 1094 S. 1000 E. (TIN: 12-067-0080). The property is approximately 1.69 acres and lies in the R-3 (Multi-Family Residential) zoning district.
7. Discussion and Possible Action on **SP 1403-0006**, a request by Title Max, for Site Plan to consider approval of exterior modifications to an existing structure, located at 450 S. State Street (TIN: 12-003-0119). The property is approximately 0.51 acres and lies in the C-2 (Commercial) zoning district.

PUBLIC HEARINGS:

8. Public Hearing, Discussion and Possible Action on **CUP 1403-0001** a request by Hill Family Partnership LLC for Conditional Use Permit to consider automobile sales, tire installation and automobile repair, located at 140 N. Main Street (TIN: 12-001-0002). The property is approximately 0.47 acres and lies in the C-2 (Commercial) zoning district.
9. Public Hearing, Discussion and Possible Action on **FSP 1403-0004** a request by Corey Rasmussen, North Davis Cabinet Inc., for Amendment to JNH Subdivision to subdivide Lot 7, located at 1651 S. 300 W. (TIN: 12-787-0007). The property is approximately 5.37 acres and lies in the M-1 (Manufacturing) zoning district.
10. Public Hearing, Discussion and Possible Action on **RZN 1403-0005** a request by John Hansen, on behalf of Thomas Rosenberg, for Rezone from C-2 (Commercial) to C-R (Commercial Residential), located at 938 S. 2000 E. (TIN: 09-302-0008). The property is approximately 7.09 acres and lies in the C-2 (Commercial) zoning district.
11. Public Hearing, Discussion and Possible Action on **ZTA 1303-0003** Zoning Text Amendment to Title 11 regarding all non-depository institutions within Clearfield City, and potential amendments to City Code 11-13-29 Payday Lending Establishments. This zoning text amendment would be effective across all Commercial Zones in Clearfield City.

DISCUSSION ITEMS:

12. Discussion about standards for Animal Keeping within Agricultural zones in Clearfield City, and potential amendments to City Code Title 11, Chapter 8 Agricultural Zones to consider allowing greater flexibility for animal keeping within agricultural properties.

COMMUNICATION ITEMS:

13. Staff Communications
14. Planning Commissioners' Minute

****PLANNING COMMISSION MEETING ADJOURNED****

Dated this 27st day of March, 2014

/s/Scott A. Hess, Development Services Manager



The City of Clearfield, in accordance with the 'Americans with Disabilities Act', provides accommodations and auxiliary communicative aids and services for all those citizens needing assistance. Persons requesting accommodations for City sponsored public meetings, service programs, or events, should call Christine Horrocks at 525-2780, giving her 48 hours notice.



Planning Commission

STAFF REPORT

AGENDA ITEM

#4

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: April 2, 2014

SUBJECT: Discussion and Possible Action on **SP 1403-0001** a request by Hill Family Partnership LLC for Site Plan to consider automobile sales and repair, located at 140 N. Main Street (TIN: 12-001-0002). The property is approximately 0.47 acres and lies in the C-2 (Commercial) zoning district.

RECOMMENDATIONS

Move to **approve as conditioned**, SP 1403-0001, Site Plan approval for an automotive sales and repair business located at 140 N. Main Street (TIN: 12-001-0002) based on the findings and discussion in the Staff Report.

BACKGROUND

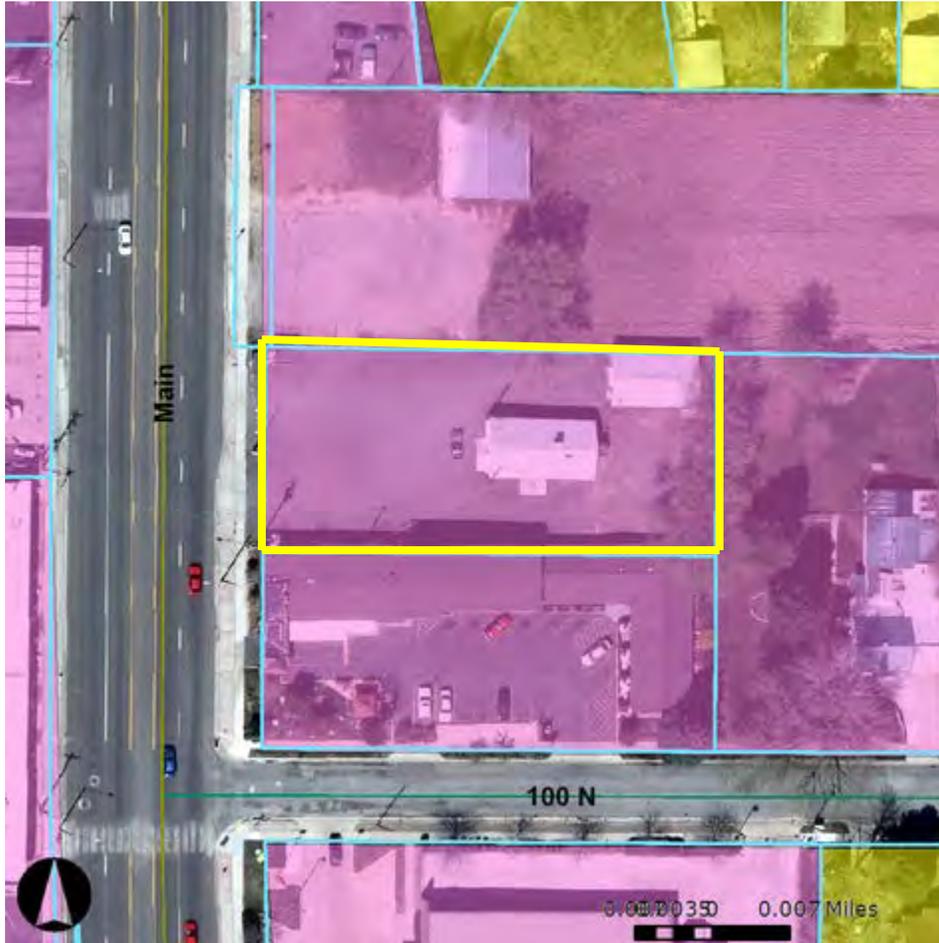
The site at 140 N. Main Street has been home to vehicle sales lots in the past. Due to the fact that the property has sat vacant, it is now required to go through the site plan approval process prior to issuance of a business license for any business. There are two structures on this lot, and the remainder has been improved with asphalt. There is an existing pole sign that has been abandoned, and will be required to be removed. The current request is for an automobile sales and repair lot, with the potential for ancillary outdoor storage behind a screening fence east of the structures.

PROJECT SUMMARY

Project Information	
Project Name	Auto HQ
Site Location	140 N, Main Street
Tax ID Number	12-001-0002
Applicant and Property Owner	Brady Hess
Property Owner	Brad Hess
Proposed Actions	Site Plan Approval
Current Zoning	C-2 (Commercial)
Master Plan Land Use	Commercial
Gross Site Area	0.47 acres

Development Standards:	Proposed	Required
Lot Size	0.47 acres	No minimum
Lot Width	>35 feet	35 feet
Setbacks		
Front	104 feet	5 feet
Side	5 feet	0 feet
Rear	8 feet	0 feet
Landscaping	11% proposed	10%
Parking Spaces	5 spaces customer 4 spaces employee 2 spaces service 10 spaces auto sales	1.5 spaces/1,000 sqft

Vicinity Map



Surrounding Properties and Uses:		Current Zoning District	Comprehensive Plan Land Use Classification
North	Construction Office	C-2 (Commercial Zone) R-1-8 (Residential)	Commercial
East	Private residence	C-2 (Commercial Zone)	Commercial
South	Charin Inn	C-2 (Commercial Zone)	Commercial
West	Albion Minerals, Walts Service	C-2 (Commercial Zone)	Commercial

ANALYSIS

Comprehensive Plan and Zoning

This project is subject to Site Plan approval as the use changing from abandoned to a vehicle sales and service establishment. The proposed use is a Conditional Use, and application for the Conditional Use has been made and will be considered separately from the site plan approval. The site has adequate parking, but lacks existing landscaping which has been proposed to be installed. Clearfield City General Plan has this site listed as Commercial for the foreseeable future.

Site Plan Review

The new use will largely use the existing facilities.

DESIGN STANDARDS

The structure will remain intact as it is today. Chapter 18 *Design Standards* of the Land Use Ordinance regulates new construction, and construction that requires a building permit. As the site currently sits, the buildings are not contingent upon approval and consistency with Clearfield City Design Standards. Any exterior modifications to the structures or new construction will be liable for Site Plan approval and be held to the standards of Chapter 18.

SITE CIRCULATION and PARKING

The existing parking lot provides adequate parking for this use. The applicant must providing one ADA accessible parking stall. The site will utilize an existing drive approach on the south side of the lot. Site circulation striping has been shown on the site plan. Staff recommends that pavement markings be provided to help orient customers, and provide a safe flow of traffic around the site.

This item is included as a condition of approval.

LANDSCAPING

The site plan shows 11% landscaping with 2214 square feet. Minimum landscaping standards of 11-13-23 will have to be demonstrated. Clearfield City Engineer is currently reviewing the landscaping plan in order to propose some workable on-site storm detention.

This item is included as a condition of approval.

GARBAGE DUMPSTER

There is not currently an onsite dumpster. If the applicant desires one, it will need to be screened.

This item is included as a condition of approval.

FENCING PLAN

There is currently a 6 foot chain link on the north side property line. The Site Plan shows proposed 6 foot fencing with slats to provide site security and screening for any potential outdoor storage. The fencing proposal focuses on fencing the eastern portion of the property in order to screen these areas from Main Street.

SIGN PACKAGE

Signage details have been provided, and are in review with the sign permit application. Signage is not included as part of this Site Plan approval.

ENGINEERING REVIEW

Engineering is currently reviewing the request. Potential discussion items include addressing the on-site storm drainage, providing adequate landscaping, and indicating on the plans that deteriorated, damaged or missing surface improvements will be replaced or installed.

This item is included as a condition of approval.

OTHER AGENCY REVIEW

Fire Review

North Davis Fire District review and approval will be required prior to receiving Certificate of Occupancy. The revised plans will be reviewed during the building permit phase.

UDOT

The site should not require additional permits or approvals from Utah Department of Transportation (UDOT) as they are using an already existing drive approach. Staff has not received any correspondence from UDOT indicating acknowledgment of a pending project on this site.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Site Plan Review

Clearfield Land Use Ordinance Section 11-5-3 establishes the review considerations the Planning Commission shall make to approve Site Plans. The findings and staff’s evaluation are outlined below:

	Review Consideration	Staff Analysis
1)	<i>Traffic:</i> The effect of the site development plan on traffic conditions on abutting streets.	The site is located with direct access to Main Street. The proposed use will have limited traffic impacts. Internal pavement markings should be provided to give a clear means of travel through the site for customers and employees. In no case should backing onto Main Street be allowed. Site Plan approval is subject to approvals obtained from UDOT as well, if applicable.
2)	<i>Vehicle; Pedestrian:</i> The layout of the site with respect to locations and dimension of vehicular and pedestrian entrances, exits, drives and walkways.	The driveway to the site is existing. There is a public sidewalk along Main Street. Deteriorated or damaged sidewalk and concrete will need to be replaced or installed.
3)	<i>Off-Street Parking:</i> Compliance of off-street parking facilities with Chapter 14 of this Title.	It is estimated that approximately 5 customer parking stalls will be provided. The size of the stalls will need to meet code standards of 9 feet wide by 20 feet long and provide at least 1 ADA compliant space. The provided parking meets paving improvement standards with the

		use of asphalt.
4)	<i>Loading and Unloading Facilities:</i> The location, arrangement and dimensions of truck loading and unloading facilities.	The site is not subject to off-street loading space requirements.
5)	<i>Surfacing and Lighting; Parking:</i> The surfacing and lighting of off-street parking.	The proposal does not include any additional surface or exterior building lighting; although the construction documents may include new lighting for both the parking lot and exterior on the building that must meet City code. Care should be taken to reduce glare and impacts to the customers of Charin Inn.
6)	<i>Screen Planting:</i> The location, height and materials, of walls, fences, hedges and screen planting.	This site is not subject to screen plantings.
7)	<i>Landscaping:</i> The layout and appropriateness of landscaping.	A minimum of 10 percent landscaping is a requirement in the C-2 zoning district. The construction drawings the standard is met. The provisions of 11-13-23 for the minimum number of trees and shrubs should be followed. The appropriate number of trees and shrubs will be indicated at the time of the construction documents (the building permit submittal). The nature of the landscaping is to be determined pending a decision on the onsite storm water collection.
8)	<i>Drainage:</i> The effect of the site development plan on City storm water drainage systems.	The applicant will demonstrate in the Construction Documents compliance with current City standards and mitigate the impact on the storm drain system.
9)	<i>Utility:</i> The effect of the site development plan on City utility systems.	The applicant will demonstrate in the Construction Documents compliance with current City standards and mitigate impact on the utilities system.
10)	<i>Building Locations:</i> Consideration of building locations on the site, elevations and relation to surrounding areas (Ord. 84-06B, 9-11-1984)	The site layout is a principal building toward the east of the parcel, with a secondary structure behind and to the north. Parking is proposed directly west of the building.
11)	<i>Exterior Design:</i> Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended. (Ord. 84-08, 10-	Any exterior modifications to the existing structures would be pursuant to Chapter 18 Design Standards. At this time there are no exterior modification proposed.

	23-1984)	
12)	<p><i>Signs:</i> Compliance of signs with Chapter 15 of this Title and particular consideration to the location of signs upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.</p>	<p>A sign package review will be under separate review and approval.</p>

CONDITIONS OF APPROVAL

- 1) The Construction Documents submitted for building permits shall be in substantial conformance with the documents submitted in this Site Plan approval, SP 1403-0001; however, they will also include and address the following:
 - a. The final engineering design (construction drawings) submitted for site improvements shall meet City standards and be to the satisfaction of the City Engineer.
 - b. Any final building plans submitted shall meet building safety standards and be to the satisfaction of the City Building Official.
 - c. The appropriate number of parking stalls shall be delineated and designed for the site and shown on submitted construction drawings. A minimum of one parking stall must meet ADA standards.
 - d. Site circulation must be designed in such a manner that Main Street is not affected. Adequate paved markings and/or signage shall be provided and incorporated on the site.
 - e. New lighting for the site, either parking lot or exterior to the building shall be shown on the construction documents and meet City Code.
 - f. A minimum of 10 percent landscaping shall be provided and meet the minimum standards set forth in 11-13-23.
 - g. Proposed signage must meet Title 11, Chapter 15 standards. Signs are not included as part of this Site Plan approval. Separate review and approval will be required.

- 2) The pole sign currently located on the north of the property has been deemed to be abandoned, and must be removed.

- 3) If a garbage dumpster is desired, it must be behind screening as required by Clearfield City Code 11-18-4C2.
- 4) Site Plan approval is subject to North Davis County Fire District review and approval.
- 5) Site Plan approval is subject to obtaining any necessary permits or approvals from UDOT (Utah Department of Transportation).
- 6) Should the landscape not be installed prior to Certificate of Occupancy, pursuant to Land Use Ordinance 11-13-23(B), (C) and (D) Final building permit approval is subject to the applicant establishing an escrow account, as reviewed and approved by the City Engineer and City Attorney.
- 7) The applicant shall provide proof of having obtained and of having maintained, as may be periodically requested by the City, all applicable local, state, and federal permits.

ATTACHMENTS

1. Site Plan



Planning Commission

STAFF REPORT

AGENDA ITEM
#5

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: April 2, 2014

SUBJECT: Discussion and Possible Action on **SP 1403-0002** a request by Blair Wall of NSC Superior LLC for Site Plan to consider approval of exterior modifications to an existing structure, located at 210 E. 700 S. (TIN: 12-638-0004). The property is approximately 22 acres and lies in the M-1 (Manufacturing) zoning district.

RECOMMENDATIONS

Move to **approve as conditioned**, SP 1403-0002, Site Plan approval for NSC Properties LLC building addition, based on discussion and findings in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Shaw Naptech Wash Bay – NSC Properties
Site Location	210 E. 700 S.
Tax ID Number	12-638-0004
Applicant and Property Owner	Blair Wall
Property Owner	NSC Properties LLC
Proposed Actions	Site Plan Approval
Current Zoning	M-1 (Manufacturing)
Master Plan Land Use	Manufacturing
Proposed Addition	600 SF
Existing Building	314,000 SF approx.

Vicinity Map



ANALYSIS

Master Plan and Zoning

The site is located just east of Freeport Industrial Parkway and south of the SR 193 alignment. The property is zoned M-1 and master planned Manufacturing. The proposed addition is consistent with the Master Plan and zoning.

Site Plan Review

The existing building is approximately 314,000 square feet with a proposed addition of approximately 3,750 square feet (*See Attachment 1: Site Plan*). The expansion is at the northeast corner of the main building. The remainder of the site is developed, with parking and other related improvements. The expansion does not necessitate, nor requires, providing additional parking.

The addition of a small wash bay on the north side is, in comparison, a minimum increase of square footage to the existing building. The site has railroad service lines run along both the west and east sides of the property and existing industrial uses are located directly to the south. Chapter 18 Design Standards (11-18- 3) permit the deviation from strict compliance for minor

structures and additions to existing buildings. As this is an addition to an existing building this request can meet those findings and are explained in detail under *Findings*.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Site Plan Review

Clearfield Land Use Ordinance Section 11-5-3 establishes the review considerations the Planning Commission shall make to approve Site Plans. The findings and staff's evaluation are outlined below:

Review Consideration		Staff Analysis
1)	<i>Traffic:</i> The effect of the site development plan on traffic conditions on abutting streets.	Does not apply for this request. No additional traffic is anticipated with this addition.
2)	<i>Vehicle; Pedestrian:</i> The layout of the site with respect to locations and dimension of vehicular and pedestrian entrances, exits, drives and walkways.	The location of the addition is outside the pedestrian walkways of the property and out of vehicular traffic areas.
3)	<i>Off-Street Parking:</i> Compliance of off-street parking facilities with Chapter 14 of this Title.	Does not apply for this request. The addition does not create additional parking needs. The existing parking meets the standards for manufacturing building.
4)	<i>Loading and Unloading Facilities:</i> The location, arrangement and dimensions of truck loading and unloading facilities.	Does not apply for this request. The addition does not necessitate additional loading spaces.
5)	<i>Surfacing and Lighting; Parking:</i> The surfacing and lighting of off-street parking.	Does not apply for this request. The parking lot is already developed.
6)	<i>Screen Planting:</i> The location, height and materials, of walls, fences, hedges and screen planting.	The addition is surrounded by developed industrial uses additional screening is not necessary.
7)	<i>Landscaping:</i> The layout and appropriateness of landscaping.	The addition does not alter the existing landscape, nor necessitates the addition of landscaping.

8)	<i>Drainage:</i> The effect of the site development plan on City storm water drainage systems.	Does not apply for this request. The location of the addition does not alter the existing drainage. An oil/water separator must be installed in the floor drain of the wash bay. The oil/water separator design, installation, and approval is contingent upon review by the Storm Water Inspector to assure it protects the City's Storm Water System.
9)	<i>Utility:</i> The effect of the site development plan on City utility systems.	Does not apply for this request. The addition does not impact the existing utility systems.
10)	<i>Building Locations:</i> Consideration of building locations on the site, elevations and relation to surrounding areas (Ord. 84-06B, 9-11-1984)	The addition is on the north end of the structure. Visibility of the addition is minimal from surrounding properties. The addition may be visible from 700 South, but is set back from the road by a considerable distance. Staff does not see any existing conflicts or harmful impacts.
11)	<i>Exterior Design:</i> Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended. (Ord. 84-08, 10-23-1984)	The proposal is an addition to an existing industrial building. Under 11-18-3 minor structures added to a site may deviate from strict adherence to Design Standards. (Refer to these findings in the table below.)
12)	<i>Signs:</i> Compliance of signs with Chapter 15 of this Title and particular consideration to the location of signs upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.	Does not apply for this request. Signage is not a part of the request.

FINDINGS

Deviations from Strict Compliance

Clearfield Land Use Ordinance Section 11-18-3 establishes the findings that Planning Commission shall make to approve deviations from some of the Chapter 18 design standards. The findings and staff's evaluation are outlined below:

Findings for Deviations	Staff Analysis
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1)	Is consistent with the purpose of [Chapter 18] and any applicable master plan or ordinance.	The proposal consists of small addition to an existing industrial building, at a location that is surrounded by developed industrial uses on all sides.
2)	Will not adversely affect neighboring property owners or residents; and	The subject property and all surrounding properties are already developed with heavy industrial uses. The expansion would not adversely affect the neighboring properties.
3)	Creates a consistent and compatible design in cases which involve minor structures added to a site.	The building addition is consistent with typical heavy industrial developments and other materials in the immediate vicinity.

CONDITIONS OF APPROVAL

- 1) The Construction Documents submitted for building permits shall be in substantial conformance with the documents submitted in this Site Plan approval, SP 1308-0003.
- 2) An approved oil/water separator must be installed and inspected by Clearfield City. Any additional required approvals from North Davis Sewer District must be granted prior to final inspection by Clearfield City.

ATTACHMENTS

1. Site Plan

SEAL:

REVISION: _____
DATE: _____
PROJECT: _____
DRAWN BY: C.D.
PLOT: 03-14-2014

DRAWING DESCRIPTION:
SITE PLAN

177 E. ANTELOPE DR. #B
LAYTON, UT 84041
PHONE: (801) 499-5054
FAX: (801) 499-5065

SILVERPEAK
ENGINEERING

SHAW NAPTECH, INC - NEW WASH BAY
210 EAST 700 SOUTH
CLEARFIELD, UTAH

SHEET NUMBER:
C1
SITE PLAN

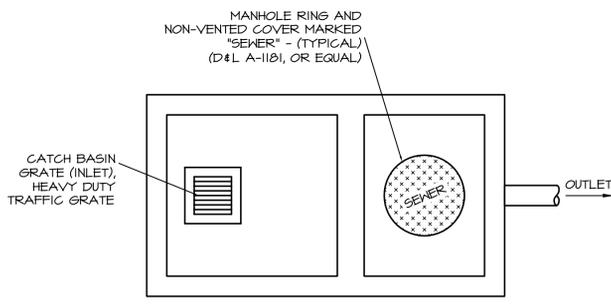
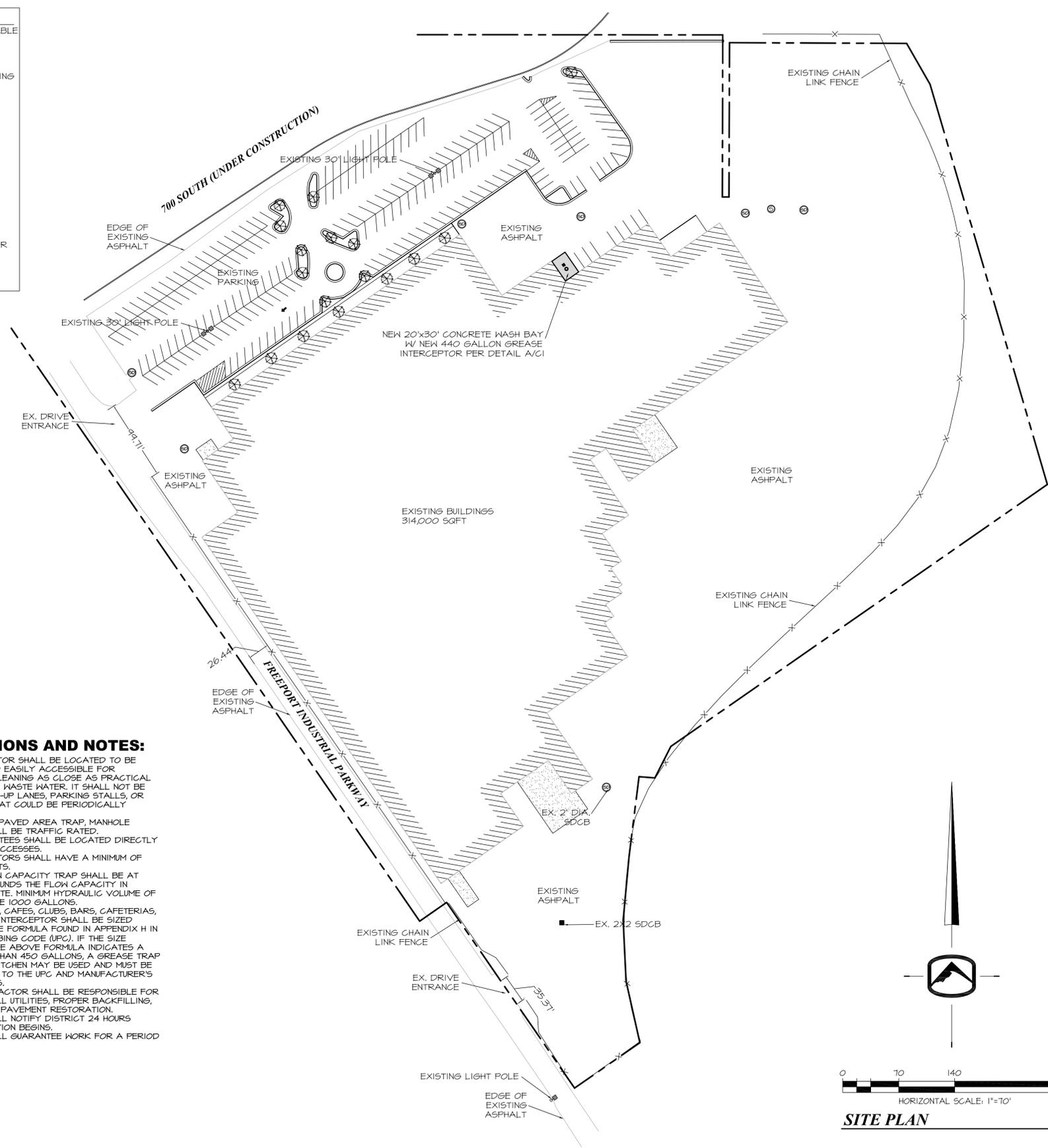


VICINITY MAP

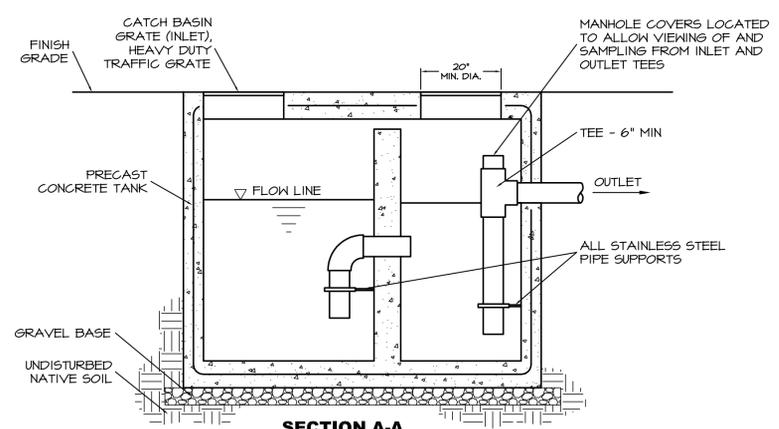
LEGEND

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

--- (dashed line)	BOUNDARY LINE
--- (dotted line)	CENTERLINE
--- (dash-dot line)	EASEMENT LINE
--- (long-dashed line)	SETBACK LINE
--- (short-dashed line)	EXISTING PARKING STRIPEING
↑ (arrow)	SECTION CORNER MONUMENT
• (dot)	CONTROL POINT
- - - 4250 - - -	E6 CONTOUR MINOR
- - - 4250 - - -	E6 CONTOUR MAJOR
- - - 4250 - - -	F6 CONTOUR MINOR
- - - 4250 - - -	F6 CONTOUR MAJOR
▒ (stippled)	NEW ASPHALT
▒ (cross-hatched)	EXISTING ASPHALT
▒ (horizontal lines)	EXISTING CURB AND GUTTER
⊗ (circle with cross)	EXISTING TREE



PLAN VIEW

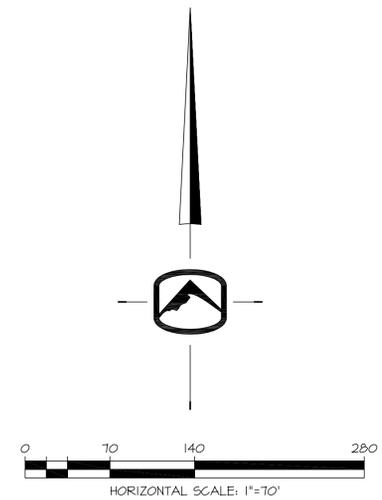


SECTION A-A

GREASE INTERCEPTOR
PER NORTH DAVIS SEWER DISTRICT STANDARDS
NOT TO SCALE

SPECIFICATIONS AND NOTES:

- GREASE INTERCEPTOR SHALL BE LOCATED TO BE CONTINUOUSLY AND EASILY ACCESSIBLE FOR INSPECTION AND CLEANING AS CLOSE AS PRACTICAL TO THE SOURCE OF WASTE WATER. IT SHALL NOT BE LOCATED IN DRIVE-UP LANES, PARKING STALLS, OR SIMILAR AREAS THAT COULD BE PERIODICALLY BLOCKED.
- WHEN LOCATED IN PAVED AREA TRAP, MANHOLE COVERS, ETC. SHALL BE TRAFFIC RATED.
- INLET AND OUTLET TEES SHALL BE LOCATED DIRECTLY BELOW MANHOLE ACCESSES.
- GREASE INTERCEPTORS SHALL HAVE A MINIMUM OF TWO COMPARTMENTS.
- GREASE RETENTION CAPACITY TRAP SHALL BE AT LEAST TWICE IN POUNDS THE FLOW CAPACITY IN GALLONS PER MINUTE. MINIMUM HYDRAULIC VOLUME OF THE TRAP SHALL BE 1000 GALLONS.
- FOR RESTAURANTS, CAFES, CLUBS, BARS, CAFETERIAS, ETC., THE GREASE INTERCEPTOR SHALL BE SIZED ACCORDING TO THE FORMULA FOUND IN APPENDIX H IN THE UNIFORM PLUMBING CODE (UPC). IF THE SIZE DETERMINED BY THE ABOVE FORMULA INDICATES A VOLUME OF LESS THAN 450 GALLONS, A GREASE TRAP LOCATED IN THE KITCHEN MAY BE USED AND MUST BE SIZED ACCORDING TO THE UPC AND MANUFACTURER'S RECOMMENDATIONS.
- INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OF ALL UTILITIES, PROPER BACKFILLING, COMPACTING, AND PAVEMENT RESTORATION.
- CONTRACTOR SHALL NOTIFY DISTRICT 24 HOURS BEFORE INSTALLATION BEGINS.
- CONTRACTOR SHALL GUARANTEE WORK FOR A PERIOD OF ONE YEAR.



SITE PLAN



Planning Commission

STAFF REPORT

AGENDA ITEM
#6

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: April 2, 2014

SUBJECT: Discussion and Possible Action on **SP 1403-0003** a request by Classic Jack Construction for Site Plan to consider approval of expansion of office space for Holly Haven Apartments, located at 1094 S. 1000 E. (TIN: 12-067-0080). The property is approximately 1.69 acres and lies in the R-3 (Multi-Family Residential) zoning district.

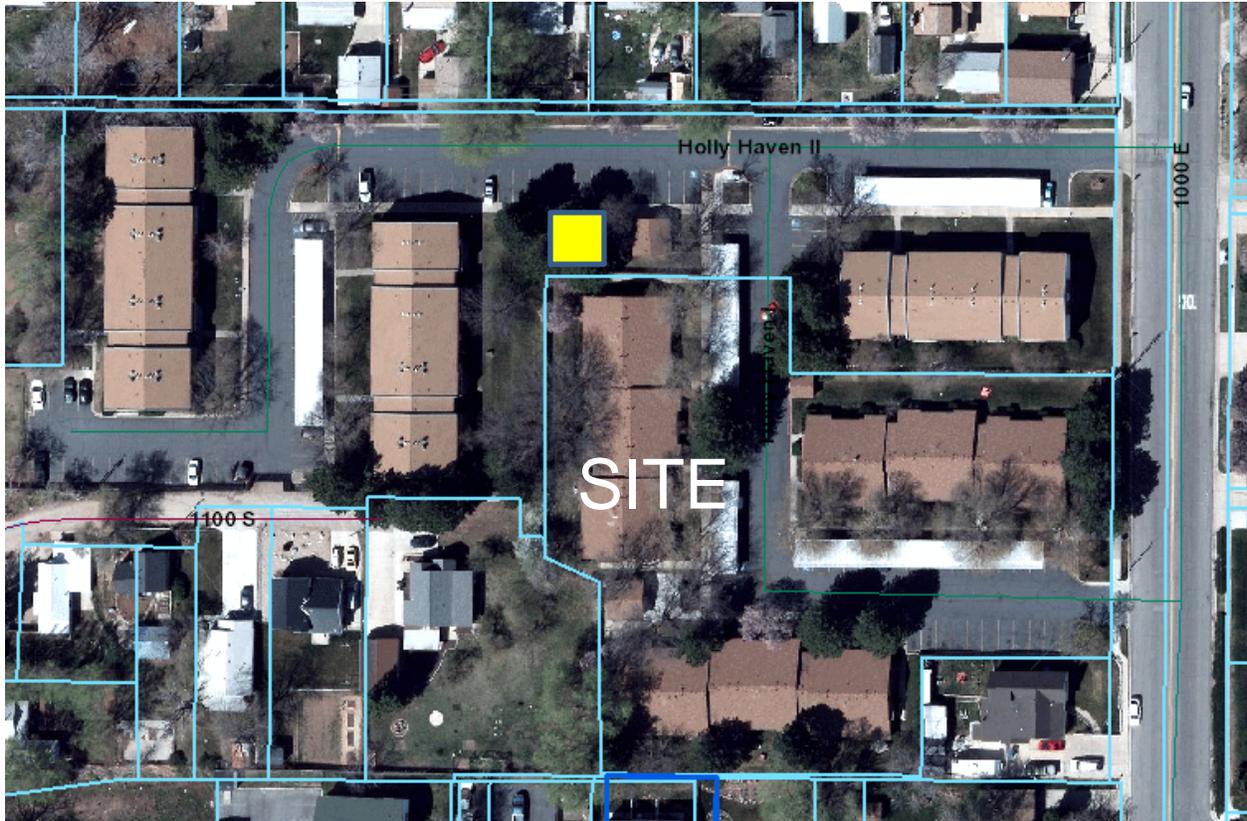
RECOMMENDATIONS

Move to **approve as conditioned**, SP 1403-0003, Site Plan approval for Holly Haven Apartment building addition, based on discussion and findings in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Holly Haven Office Expansion
Site Location	194 S. 1000 E.
Tax ID Number	12-067-0080
Applicant	Nathan Roberts – Classic Jack Construction
Property Owner	Utah Non-Profit Housing Corp.
Proposed Actions	Site Plan Approval – Building Addition
Current Zoning	R-3 (Multiple-Family Residential)
Master Plan Land Use	Residential
Proposed Addition	456 SF
Existing Building	360 SF approx.

Vicinity Map



ANALYSIS

Master Plan and Zoning

The site is located just south of Fisher Park near Clearfield High School on 1000 East. The property is zoned R-3 and master planned Residential. The proposed addition is consistent with the Master Plan and zoning.

Site Plan Review

The existing office for Holly Haven is approximately 360 square feet. In order to better serve the residents of the apartment complex, the property owner would like to add an additional 456 square feet to provide office space and laundry service for the residents. The office is located centrally within the apartment complex, and will not negatively affect any internal setbacks or parking circulation. The expansion will match existing materials of the existing office, and should be a seamless piece of new construction. The remainder of the site is developed with parking, landscaping, and apartment homes. The expansion does not necessitate, nor requires, providing additional parking.

Chapter 18 Design Standards (11-18- 3) permit the deviation from strict compliance for minor structures and additions to existing buildings. As this is an addition to an existing building this request can meet those findings and are explained in detail under *Findings*.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Site Plan Review

Clearfield Land Use Ordinance Section 11-5-3 establishes the review considerations the Planning Commission shall make to approve Site Plans. The findings and staff’s evaluation are outlined below:

Review Consideration		Staff Analysis
1)	<i>Traffic:</i> The effect of the site development plan on traffic conditions on abutting streets.	Does not apply for this request. No additional traffic is anticipated with this addition.
2)	<i>Vehicle; Pedestrian:</i> The layout of the site with respect to locations and dimension of vehicular and pedestrian entrances, exits, drives and walkways.	The location of the addition is outside the pedestrian walkways of the property and out of vehicular traffic areas.
3)	<i>Off-Street Parking:</i> Compliance of off-street parking facilities with Chapter 14 of this Title.	Does not apply for this request. The addition does not create additional parking needs. The existing parking meets the standards for manufacturing building.
4)	<i>Loading and Unloading Facilities:</i> The location, arrangement and dimensions of truck loading and unloading facilities.	Does not apply for this request. The addition does not necessitate additional loading spaces.
5)	<i>Surfacing and Lighting; Parking:</i> The surfacing and lighting of off-street parking.	Does not apply for this request. The parking lot is already developed.
6)	<i>Screen Planting:</i> The location, height and materials, of walls, fences, hedges and screen planting.	The addition is surrounded by developed multi-family uses additional screening is not necessary.
7)	<i>Landscaping:</i> The layout and appropriateness of landscaping.	The addition does not alter the existing landscape, nor necessitates the addition of landscaping.

8)	<i>Drainage:</i> The effect of the site development plan on City storm water drainage systems.	Does not apply for this request. The location of the addition does not alter the existing drainage.
9)	<i>Utility:</i> The effect of the site development plan on City utility systems.	Does not apply for this request. The addition does not impact the existing utility systems.
10)	<i>Building Locations:</i> Consideration of building locations on the site, elevations and relation to surrounding areas (Ord. 84-06B, 9-11-1984)	The addition is on the north end of the apartment complex, and is surrounded by existing development. The property immediately north of the site is screened by a slatted fence. The building location should pose no additional hardship to the surrounding area.
11)	<i>Exterior Design:</i> Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended. (Ord. 84-08, 10-23-1984)	The proposal is an addition to an existing building. Under 11-18-3 minor structures added to a site may deviate from strict adherence to Design Standards. (Refer to these findings in the table below.)
12)	<i>Signs:</i> Compliance of signs with Chapter 15 of this Title and particular consideration to the location of signs upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.	Does not apply for this request. Signage is not a part of the request.

FINDINGS

Deviations from Strict Compliance

Clearfield Land Use Ordinance Section 11-18-3 establishes the findings that Planning Commission shall make to approve deviations from some of the Chapter 18 design standards. The findings and staff's evaluation are outlined below:

Findings for Deviations		Staff Analysis
1)	Is consistent with the purpose of [Chapter 18] and any applicable master plan or ordinance.	The proposal consists of an addition to an existing building, at a location that is surrounded by developed multi-family uses on all sides. The addition is proposed to be clad with siding consistent with the existing structure, and roofed with asphalt shingles. These building materials are consistent with the zone.

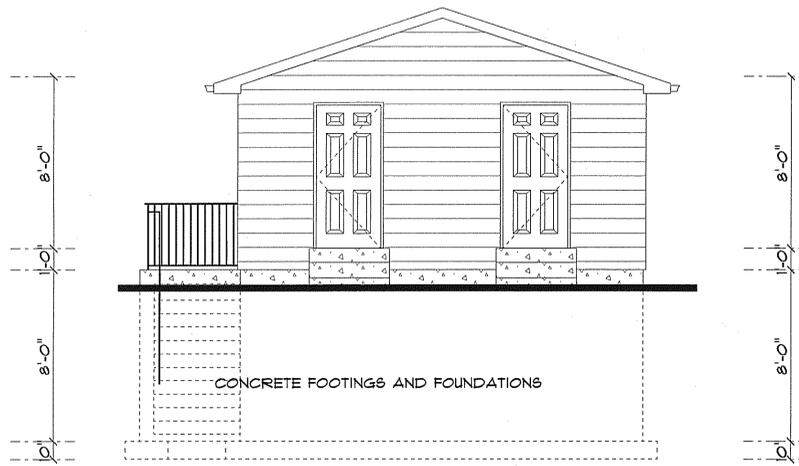
2)	Will not adversely affect neighboring property owners or residents; and	The subject property and all surrounding properties are already developed. The expansion would not adversely affect the neighboring properties.
3)	Creates a consistent and compatible design in cases which involve minor structures added to a site.	The building addition is consistent with the residential neighborhood character and other materials in the immediate vicinity surrounding the apartment complex.

CONDITIONS OF APPROVAL

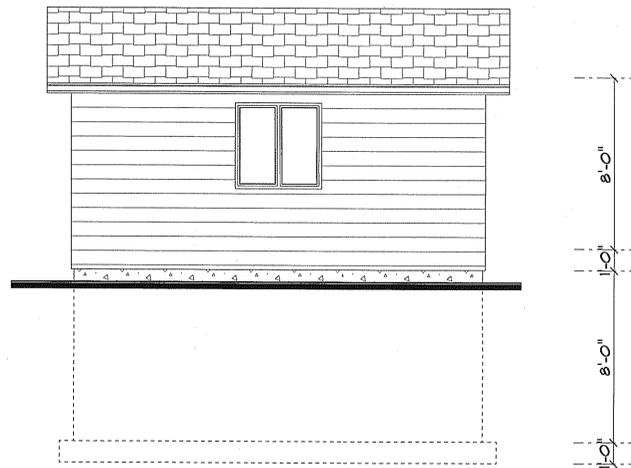
- 1) The Construction Documents submitted for building permits shall be in substantial conformance with the documents submitted in this Site Plan approval, SP 1308-0003.

ATTACHMENTS

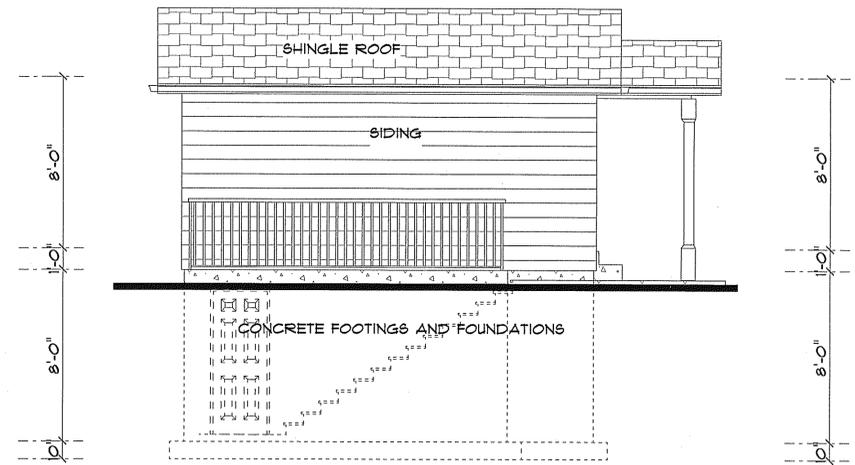
1. Site Plan (modified Plat Plan)
2. Building Elevations



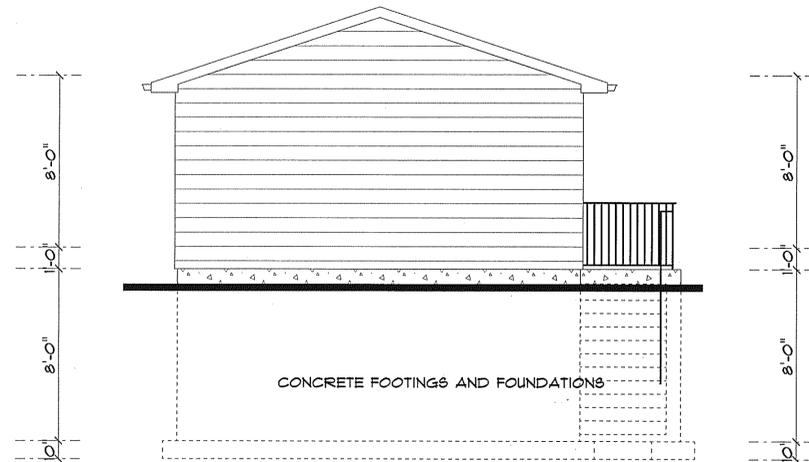
EXISTING FRONT ELEVATION



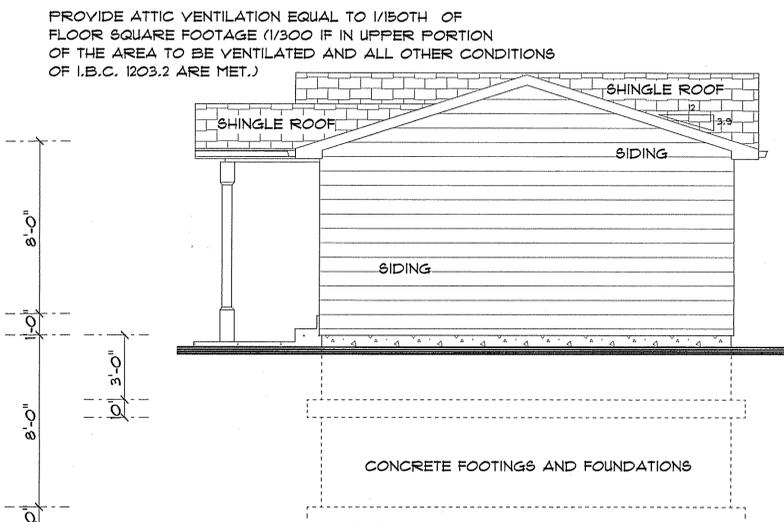
EXISTING SIDE ELEVATION



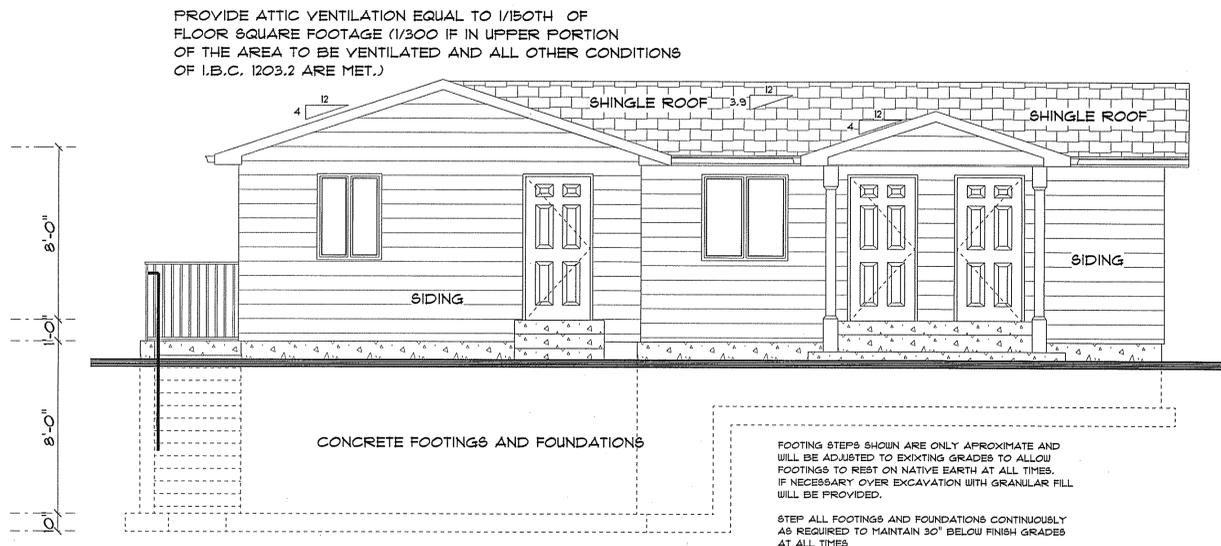
REVISED LEFT ELEVATION



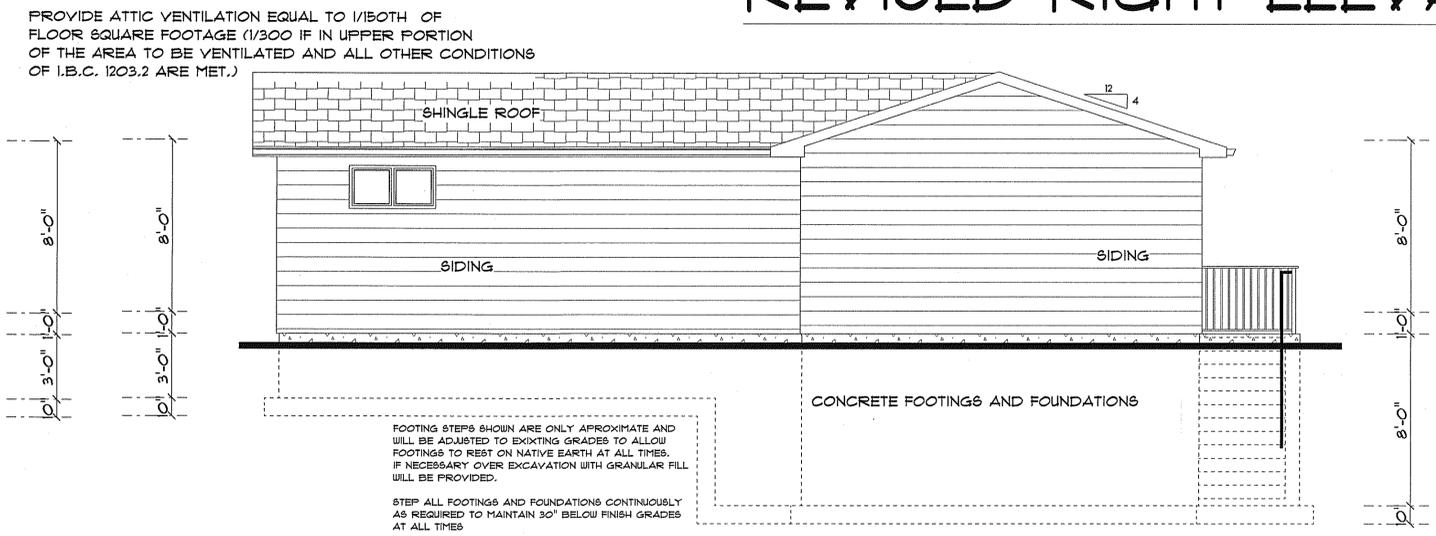
EXISTING REAR ELEVATION



REVISED RIGHT ELEVATION



REVISED FRONT ELEVATION



REVISED REAR ELEVATION

PROVIDE ATTIC VENTILATION EQUAL TO 1/150TH OF FLOOR SQUARE FOOTAGE (1/300 IF IN UPPER PORTION OF THE AREA TO BE VENTILATED AND ALL OTHER CONDITIONS OF I.B.C. 1203.2 ARE MET.)

PROVIDE ATTIC VENTILATION EQUAL TO 1/150TH OF FLOOR SQUARE FOOTAGE (1/300 IF IN UPPER PORTION OF THE AREA TO BE VENTILATED AND ALL OTHER CONDITIONS OF I.B.C. 1203.2 ARE MET.)

PROVIDE ATTIC VENTILATION EQUAL TO 1/150TH OF FLOOR SQUARE FOOTAGE (1/300 IF IN UPPER PORTION OF THE AREA TO BE VENTILATED AND ALL OTHER CONDITIONS OF I.B.C. 1203.2 ARE MET.)

FOOTING STEPS SHOWN ARE ONLY APPROXIMATE AND WILL BE ADJUSTED TO EXISTING GRADES TO ALLOW FOOTINGS TO REST ON NATIVE EARTH AT ALL TIMES. IF NECESSARY OVER EXCAVATION WITH GRANULAR FILL WILL BE PROVIDED.

STEP ALL FOOTINGS AND FOUNDATIONS CONTINUOUSLY AS REQUIRED TO MAINTAIN 30" BELOW FINISH GRADES AT ALL TIMES

FOOTING STEPS SHOWN ARE ONLY APPROXIMATE AND WILL BE ADJUSTED TO EXISTING GRADES TO ALLOW FOOTINGS TO REST ON NATIVE EARTH AT ALL TIMES. IF NECESSARY OVER EXCAVATION WITH GRANULAR FILL WILL BE PROVIDED.

STEP ALL FOOTINGS AND FOUNDATIONS CONTINUOUSLY AS REQUIRED TO MAINTAIN 30" BELOW FINISH GRADES AT ALL TIMES



Planning Commission

STAFF REPORT

#7

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: April 2, 2014

SUBJECT: Discussion and Possible Action on **SP 1403-0006**, a request by Title Max, for Site Plan to consider approval of exterior modifications to an existing structure, located at 450 S. State Street (TIN: 12-003-0119). The property is approximately 0.51 acres and lies in the C-2 (Commercial) zoning district.

RECOMMENDATIONS

Move to **approve as conditioned**, SP 1403-0006, Site Plan approval for exterior building modifications, located at 450 S. State Street, based on the findings and discussion in the Staff Report.

BACKGROUND

This property received Site Plan approval for a Title Lending business in December 2013. The property owner has been working with Clearfield City to meet all requirements of the former approval, and is currently under construction with parking lot, landscaping, and interior modifications. At the time of the first Site Plan approval, the property owner was not proposing any exterior modifications to the building. After review of the sign ordinance, the property owner would like to add a parapet wall to surround the building in order to gain more wall space for signage.

PROJECT SUMMARY

Project Information	
Project Name	Title Max
Site Location	450 S. State Street
Tax ID Number	12-003-0119
Applicant and Property Owner	Title Max, Chris Ryan
Property Owner	Dee's Inc., Wade Olsen
Proposed Actions	Site Plan Approval
Current Zoning	C-2 (Commercial)
Master Plan Land Use	Commercial
Gross Site Area	0.51 acres

Vicinity Map



Surrounding Properties and Uses:		Current Zoning District	Comprehensive Plan Land Use Classification
North	Baskin Robins	C-2 (Commercial Zone)	Commercial

East	Uhaul – Vehicle Service	C-2 (Commercial Zone)	Commercial
South	450 South Street - Allstate	C-2 (Commercial Zone)	Commercial
West	State Street – Mobile Home Park	C-2 (Commercial Zone)	Mixed-Use

ANALYSIS

Site Plan Review

The new use will largely use the existing facilities.

DESIGN STANDARDS

The majority of the structure will remain intact as it is today. The applicant has provided plans for a six foot tall parapet to be constructed, to wrap the exterior of the building at the current roof line. This will not increase the total building height, but will provide more wall space to place signage. The plans indicate an exterior color change on the structure to white for the main building, with a blue roof, and blue parapet.

Chapter 18 *Design Standards* of the Land Use Ordinance regulates new construction, and construction that requires a building permit. The chapter focuses on the use of quality materials for new and renovated structures. Adding the parapet is a modification to an existing building, and represents a fairly minor change. Exterior paint is a minor change, with very few Chapter 18 modifications required. Land Use Code Section 11-18-5 F, 2 states, “color utilization should be sensitive to existing development within the vicinity and the natural landscape in which the project is situated”. The context surrounding this project is not cohesive, and does not provide a palette of colors from which to choose and match.

Staff would recommend that the applicant be sensitive in choosing colors that could provide for a positive change to the surrounding development. A minimum of three (3) colors per elevation is required by City Code.

This item is included as a condition of approval.

SIGN PACKAGE

Signage details have been provided, and are in review with the sign permit application. Signage is not included as part of this Site Plan approval.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Site Plan Review

Clearfield Land Use Ordinance Section 11-5-3 establishes the review considerations the Planning Commission shall make to approve Site Plans. The findings and staff's evaluation are outlined below:

	Review Consideration	Staff Analysis
1)	<i>Traffic:</i> The effect of the site development plan on traffic conditions on abutting streets.	Does not apply to this request.
2)	<i>Vehicle; Pedestrian:</i> The layout of the site with respect to locations and dimension of vehicular and pedestrian entrances, exits, drives and walkways.	Does not apply to this request.
3)	<i>Off-Street Parking:</i> Compliance of off-street parking facilities with Chapter 14 of this Title.	Does not apply to this request.
4)	<i>Loading and Unloading Facilities:</i> The location, arrangement and dimensions of truck loading and unloading facilities.	The site is not subject to off-street loading space requirements.
5)	<i>Surfacing and Lighting; Parking:</i> The surfacing and lighting of off-street parking.	The proposal does not include any additional exterior building lighting; although the construction documents may include new lighting for both the parking lot and exterior on the building that must meet City code.
6)	<i>Screen Planting:</i> The location, height and materials, of walls, fences, hedges and screen planting.	This site is not subject to screen plantings.
7)	<i>Landscaping:</i> The layout and appropriateness of landscaping.	Does not apply to this request.
8)	<i>Drainage:</i> The effect of the site development plan on City storm water drainage systems.	Does not apply to this request.
9)	<i>Utility:</i> The effect of the site development plan on City utility systems.	Does not apply to this request.

10)	<i>Building Locations:</i> Consideration of building locations on the site, elevations and relation to surrounding areas (Ord. 84-06B, 9-11-1984)	The site layout is a principal building toward the north of the parcel, with driveway access from the west. Parking is proposed directly south of the building. There is a proposed drive thru that will wrap around the north side of the building.
11)	<i>Exterior Design:</i> Consideration of exterior design in relation to adjoining structures and area character to assure compatibility with other structures in the neighborhood, existing or intended. (Ord. 84-08, 10-23-1984)	<p>There are some color changes to the exterior of the building proposed, however the main structure will remain intact.</p> <p>The parapet wall will be constructed at the top of the existing brick wall, and will be six feet tall bringing the wall height up to sixteen feet. The parapet will wrap the entire building. The existing curved roof will remain behind the parapet wall.</p> <p>The project is subject to the Chapter 18 Design Standards should the Commission determine further improvements are required, these should be included as Conditions of Approval.</p>
12)	<i>Signs:</i> Compliance of signs with Chapter 15 of this Title and particular consideration to the location of signs upon the site, their effect upon parking, ingress and egress, the effects upon neighboring properties and the general harmony of signs with the character of the neighborhood, existing or intended.	A sign package review will be under separate review and approval.

FINDINGS

Deviations from Strict Compliance

Clearfield Land Use Ordinance Section 11-18-3 establishes the findings that Planning Commission shall make to approve deviations from some of the Chapter 18 design standards. The findings and staff’s evaluation are outlined below:

Findings for Deviations		Staff Analysis
1)	Is consistent with the purpose of [Chapter 18] and any applicable master plan or ordinance.	The proposal consists of an addition to an existing building, at a location that is surrounded by developed commercial uses on all sides. The addition is proposed to be constructed at the same plan as the existing wall on the structure making it appear as one wall. Building materials must be consistent with the surrounding development, and done of high quality long lasting materials. The plans show the parapet wall being constructed of an “aluminum rigid backer”.

2)	Will not adversely affect neighboring property owners or residents; and	The subject property and all surrounding properties are already developed. The expansion would not adversely affect the neighboring properties.
3)	Creates a consistent and compatible design in cases which involve minor structures added to a site.	The building addition is consistent with the commercial character and other materials in the immediate vicinity. Staff would request that color choice for the blue parapet be thoughtful, and be an improvement to the area.

CONDITIONS OF APPROVAL

- 1) The Construction Documents submitted for building permits shall be in substantial conformance with the documents submitted in this Site Plan approval, SP 1403-0006.
- 2) The Construction of the parapet should be in substantial conformance with Chapter 18 design guidelines, and be of a material that is long lasting, and to the greatest extent possible meets the intent of Chapter 18 Design Guidelines.

ATTACHMENTS

1. Elevations and Sign Design Plans

11048

TITLEMAX 14'0" SET

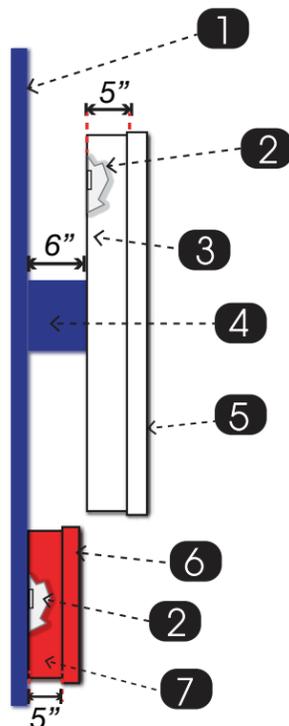


Specification & Materials

- 1 Wisco Sunoco Blue Aluminum Rigid Backer
- 2 Interior Illuminated w/ White LED lights
- 3 .063 Aluminum Returns and .063 Aluminum Back
- 4 Raceway w/ Power Supply
- 5 White 3/16" Acrylic Faces w/ 1" White Trim Cap
- 6 3/16" White Acrylic Faces w/ Red Translucent Vinyl 1" Red Trim Cap
- 7 Aluminum Cabinet Red PMS 485c

Side View

- PMS 287C Blue
- PMS 485C Red
- #7328 White



Backer - 82.83ft²

eureka!signs

www.eurekasigns.com

8201 LOCKHEED DR. STE. 131
EL PASO, TX 79925

Tel. 915. 875. 8000
Fax 915. 875. 8099

Client Info

TITLEMAX

CONTACT PERSON

Jill Cerverizzo

SITE NUMBER

TMX 11048

SITE ADDRESS

450 S. State St.
Clearfield, UT 84015

Project Info

DATE ISSUED

02-06-14

SALES PERSON

Axel Webb

DESIGNER

Charlie Flores

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11048

TITLEMAX 14'0" SET

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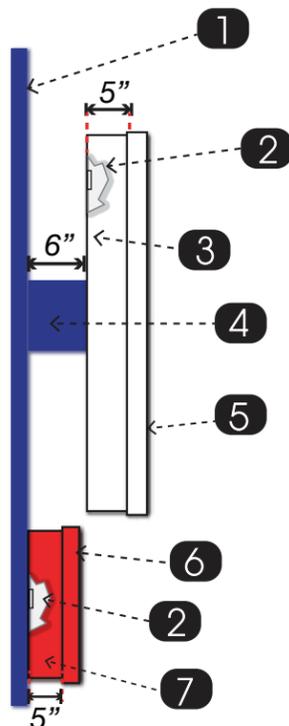


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Planning Commission

STAFF REPORT

AGENDA ITEM
#8

TO: Planning Commission

FROM: Scott A. Hess, MPA
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: April 2, 2014

SUBJECT: Public Hearing, Discussion and Possible Action on **CUP 1403-0001** a request by Hill Family Partnership LLC for Conditional Use Permit to consider automobile sales, and automobile repair, located at 140 N. Main Street (TIN: 12-001-0002). The property is approximately 0.47 acres and lies in the C-2 (Commercial) zoning district.

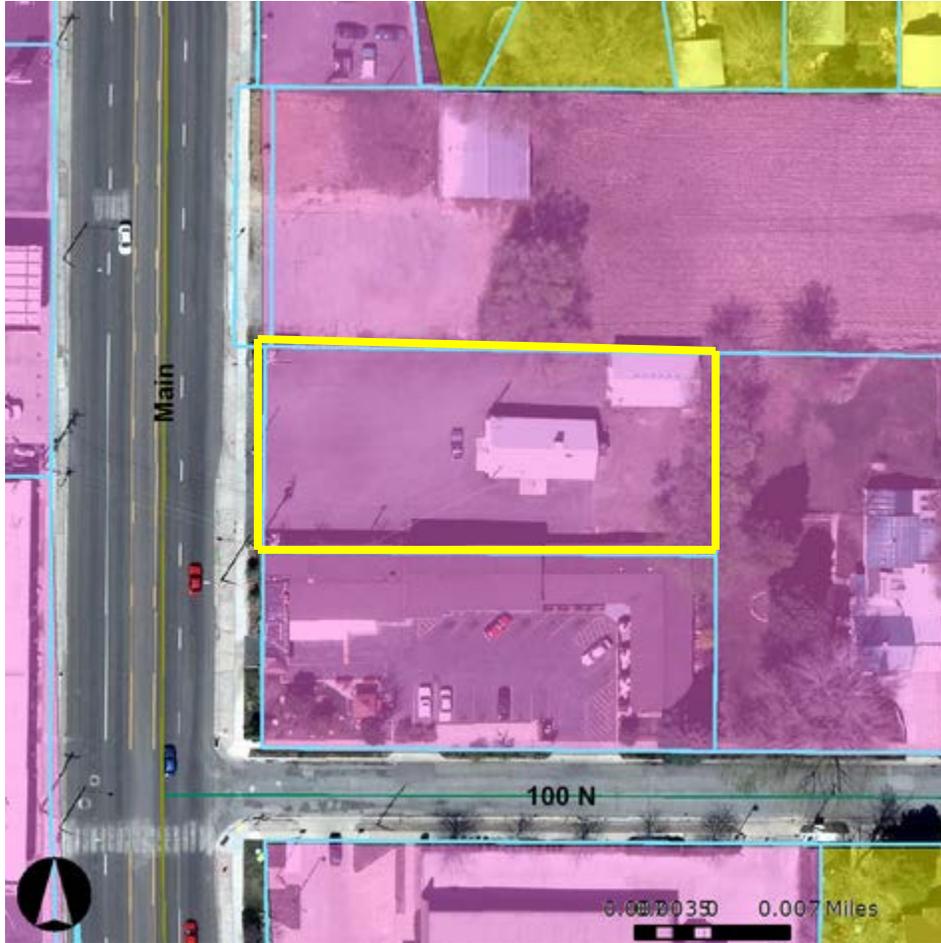
RECOMMENDATIONS

Move to **approve as conditioned**, CUP 1403-0001, Conditional Use Permit approval for an automotive sales and repair business located at 140 N. Main Street (TIN: 12-001-0002) based on the findings and discussion in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	Auto HQ
Site Location	140 N, Main Street
Tax ID Number	12-001-0002
Applicant and Property Owner	Brady Hess
Property Owner	Brad Hess
Proposed Actions	Site Plan Approval
Current Zoning	C-2 (Commercial)
Master Plan Land Use	Commercial
Gross Site Area	0.47 acres

Vicinity Map



Surrounding Properties and Uses:		Current Zoning District	Comprehensive Plan Land Use Classification
North	Construction Office	C-2 (Commercial Zone) R-1-8 (Residential)	Commercial
East	Private residence	C-2 (Commercial Zone)	Commercial
South	Charin Inn	C-2 (Commercial Zone)	Commercial
West	Albion Minerals, Walts Service	C-2 (Commercial Zone)	Commercial

ANALYSIS

Comprehensive Plan and Zoning

This project is subject to Site Plan approval as the use changing from abandoned to a vehicle sales and service establishment. The proposed use is a Conditional Use, and application for the Conditional Use has been made and will be considered separately from the site plan approval. The site has adequate parking, but lacks existing landscaping which has been proposed to be installed. Clearfield City General Plan has this site listed as Commercial for the foreseeable future.

Conditional Use Permit Review

The request is for a Conditional Use Permit (CUP) for a motor vehicle sales and repair use in the commercial zoning district. The site was previously used for motor vehicle sales and the previous business obtained a business license prior to the changes to the zoning ordinance requiring a CUP for this type of use. Issuance for a business license requires planning's review and approval. The application provides the City the opportunity to mitigate the impact of the use on adjacent and neighboring residential properties.

The proposal includes 4 employee parking spaces, 5 customer parking spaces, and 2 service stalls for vehicles awaiting repair. There are 10 other spaces to hold car inventory. The site is accessed by the entrance driveway on the south side of the subject property on Main Street. Conditions of approval are intended to mitigate the impacts of a motor sales use that would otherwise make the use incompatible with either the nearby residential or commercial properties. Pursuant to 11-4-4 of the City's Land Use Ordinance, the Planning Commission may impose conditions related to the following items:

- *Population; Land Intensity: Population density and intensity of land uses may be limited where land capability and/or vicinity relationships make it appropriate to do so to protect health, safety and welfare.*
- *Parking, Loading And Waste Areas: Design, location and amount of off street parking, loading areas, and solid waste disposal and collection areas*

Motor vehicle sales can be one of the more intense uses permitted by CUP in the C-2 zoning district. This specific proposal is for a sales lot on less than one half acre which by minimum acreage alone also intensifies the use.

A condition of approval addressing the amount of inventory permitted and that it must be contained on-site (and prohibiting on-street parking) is appropriate and would mitigate the impact on adjacent property owners. There are 10 spaces for viable vehicle sales. The rear area of the property has 4 stalls for employees and service. Staff would recommend no more than 15 vehicles be kept on site for sales at a time. Any more than this and the property may no longer function as intended.

- *Mitigation Of Possible Nuisance Factors: Measures directed at minimizing or eliminating possible nuisance factors including, but not limited to, noise, vibrations, smoke, dust, dirt, debris, plant materials, odors, gases, noxious matter, heat, glare, electromagnetic disturbances, and radiation.*

- *Other Reasonable Conditions: Such other conditions determined reasonable and necessary by the city to allow the operation of the proposed conditional use, at the proposed location in compliance with the requirements of this code*

The automotive repair use on this site is only proposed to be for the vehicles owned by the applicant and that are awaiting repairs to make them viable to sell on the sales lot. The repair business will not be a commercial repair shop on its own, but rather as an accessory to the automobile sales business.

Vehicles awaiting repair can be short term inconveniences or long term nuisances. In order to mitigate detrimental effects of storing non-operable vehicles staff would recommend including a provision that any inoperable vehicle awaiting repair can only reside on the site for 48 hours until it is required to meet outdoor storage requirements. The proposed Site Plan does provide a paved parking area behind a screened fence. Holding vehicles awaiting repair behind the screening fence is recommended, and if vehicles are going to wait longer than 48 hours to be repaired, it will be mandatory.

Automobile repair can also have detrimental effects on storm water. An approved oil-water separator should be provided in the repair bay to collect hazardous materials and stop them from entering the storm water system.

Public Comment

No public comment has been received to date.

REVIEW CONSIDERATIONS

Conditional Use Permit Review

Clearfield Land Use Ordinance Section 11-4-3 establishes the general standards and determination the Planning Commission shall make to approve Conditional Use Permits. The findings and staff’s evaluation are outlined below:

General Standard		Staff Analysis
<p>DETERMINATION: A Conditional Use Permit shall be approved if conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the standards set forth [in the Land Use Code]. If the reasonably anticipated detrimental impacts or effects of the proposed conditional use cannot be substantially mitigated or eliminated by the proposal or the imposition of conditions to achieve compliance with the standards set forth [in the Land Use Code], the Conditional Use Permit may be denied.</p>		
1)	<p><i>Equivalent to Permitted Use:</i> Any detrimental impacts or effects from the proposed use on any of the following shall not exceed those which could reasonably be expected to arise from a use that is permitted in the zone:</p> <ul style="list-style-type: none"> a. The health, safety, and welfare of the City and its present and future 	<p>As conditioned, the motor vehicle sales use can be compatible with adjacent properties and equivalent to permitted uses in the C-2 zoning district.</p>

	<p>inhabitants and businesses;</p> <p>b. The prosperity of the City and its present and future inhabitants and businesses;</p> <p>c. The peace and good order, comfort, convenience and aesthetics of the City and its present and future inhabitants and businesses;</p> <p>d. The tax base;</p> <p>e. Economy in governmental expenditures;</p> <p>f. The State's agricultural and other industries;</p> <p>g. The urban and nonurban development;</p> <p>h. Access to sunlight for solar energy devices; or</p> <p>i. Property values.</p>	
<p>2)</p>	<p><i>Impact Burden:</i> Any cost of mitigating or eliminating detrimental impacts or effects in excess of those which could be reasonably expected to arise from a permitted use shall become a charge against the development so as not to constitute a burden on the municipality, surrounding neighbors, or adjacent land uses.</p>	<p>The use has been appropriately conditioned so as to mitigate the impact of burden on adjacent properties. Mitigation measures include the amount of inventory, the location (parking) of inventory to be contained on-site, oil water separator, and the consideration of storage of vehicles awaiting repair.</p>
<p>3)</p>	<p><i>Conform to the Objectives of the General Plan:</i> The proposed conditional use shall not limit the effectiveness of land use controls, imperil the success of the General Plan for the community, promote blight or injure property values.</p>	<p>The proposed use does not limit the effectiveness of land use controls or the success of the General Plan. The proposed use is not anticipated to promote blight or injure property values.</p>

CONDITIONS OF APPROVAL

- 1) This Conditional Use Permit is for motor vehicle sales and repair of vehicles to be sold on the sales lot, located at 140 N. Main St.
- 2) No more than 15 cars for sale or to be serviced shall be kept onsite. The entire inventory must be able to be parked on site and cannot overflow onto adjacent roads. The site shall not have double parked vehicles and maintain adequate circulation flow at all times. Off-site parking for the purposes of inventory will be prohibited.
- 3) An approved oil/water separator must be installed and maintained by the applicant. The oil/water separator must be reviewed and approved by Public Works prior to any onsite automobile repairs.
- 4) Vehicles awaiting repair may only reside on the sales lot for 48 hours. Should inoperable vehicles reside on the property longer than that, they will be considered

outdoor storage and must be parked on hard surface behind an appropriate screening fence. This is the only type of outdoor storage that is allowed by this approval. Any additional storage of vehicle parts, wheels, or other items must be reviewed and approved by the Planning Commission.

- 5) The applicant shall provide proof of having obtained and of having maintained, as may be periodically requested by the City, all applicable local, state, and federal permits.

ATTACHMENTS

None



Planning Commission

STAFF REPORT

AGENDA ITEM
#9

TO: The Clearfield City Planning Commission

FROM: Scott A. Hess
Development Services Manager
scott.hess@clearfieldcity.org (801) 525-2785

MEETING DATE: April 2, 2014

SUBJECT: Public Hearing, Discussion and Possible Action on **FSP 1403-0004** a request by Corey Rasmussen, North Davis Cabinet Inc., for Amendment to JNH Subdivision to subdivide Lot 7, located at 1651 S. 300 W. (TIN: 12-787-0007). The property is approximately 5.37 acres and lies in the M-1 (Manufacturing) zoning district.

RECOMMENDATION

Move to **Recommend Approval to Clearfield City Council**, FSP 1403-0004 a request by Corey Rasmussen, North Davis Cabinet Inc., for Amendment to JNH Subdivision to subdivide Lot 7, located at 1651 S. 300 W. (TIN: 12-787-0007), based on the discussion and findings in the Staff Report.

PROJECT SUMMARY

Project Information	
Project Name	JNH Subdivision – Amended – Lot #7
Site Location	1651 S. 300 W. Freeport West
Tax ID Number	12-787-0001
Applicant	Cory Rassmussen
Owner	Cory Rassmussen
Proposed Actions	Amend existing plat – Subdivide Lot 7
Current Zoning	M-1 (Manufacturing)
Current Land Use Classification	Manufacturing – No General Plan action needed
Gross Site Area	5.37 Acres

Surrounding Properties and Uses:		Current Zoning District	Comprehensive Plan Land Use Classification
North	Manufacturing (State of Utah)	M-1 (Manufacturing)	Manufacturing
East	Manufacturing (Ace Disposal)	M-1 (Manufacturing)	Manufacturing
South	Raw Land (Harbertson Family)	M-1 (Manufacturing)	Manufacturing
West	Manufacturing (Telestial Leasing)	M-1 (Manufacturing)	Manufacturing

HISTORY

Summer 2007

JNH Subdivision initiated by property owners within subdivision. Plat was reviewed, and approved by Clearfield City. City held the plat, and recorded August 2013.

February 2014

Cory Rassmussen, owner of North Davis Cabinets, requests to have lot 7 of JNH Subdivision amended to reflect former lot lines prior to recording of plat.

ANALYSIS

Background

In 2007 the former owner of North Davis Cabinets, Wayne Rassmussen, signed the JNH Subdivision Plat indicating that North Davis Cabinets property would be combined into a single Lot 7. In the time between Plat approval and recording, the new owner, Cory Rassmussen, has indicated that having Lot 7 subdivided back to its former orientation of three parcels would be beneficial for his business.

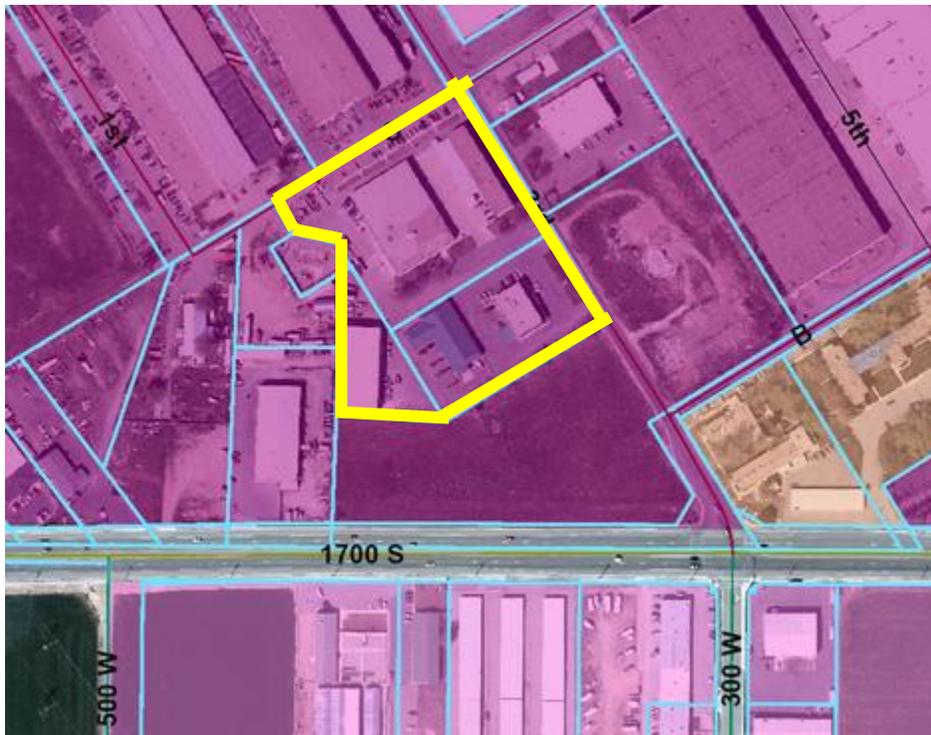
In the time between property owner's signatures on the Plat and recording of the plat, financial obligations were taken out against each parcel within the recently combined Lot 7 individually. When the City recorded the Plat six years later those parcels with liens were combined. This created financial confusion and a potential hardship on the property owner. In order to clear this

up, an amendment to Lot 7 has been proposed which would revert the property back to its former configuration of three lots, Lot 8, Lot 9, Lot 10.

Due to there being no on-site changes, the parcels will not be subject to Site Plan approval at this time. This subdivision does not amend or vacate any internally existing easements nor does it dedicate or vacate any public utilities or infrastructure. The structures which exist on the individual lots were given building permits at their time of construction, and they meet minimum setback and zoning requirements.

Vicinity and Zoning Map:

Current Clearfield City Zoning Map: Parcels in question have been outlined in yellow. The dark purple color is M-1 (Manufacturing) zoning. The City's GIS System currently shows the former three lots that the subdivision is reverting back to as there has not been an update done to the GIS System since the Plat was recorded August 2013.



Master Plan and Zoning

No Master Plan action required with this request.

Zoning Map Amendment

No Zoning Map action required with this request.

Public Comment

No public comment has been received to date.

CONDITIONS OF APPROVAL

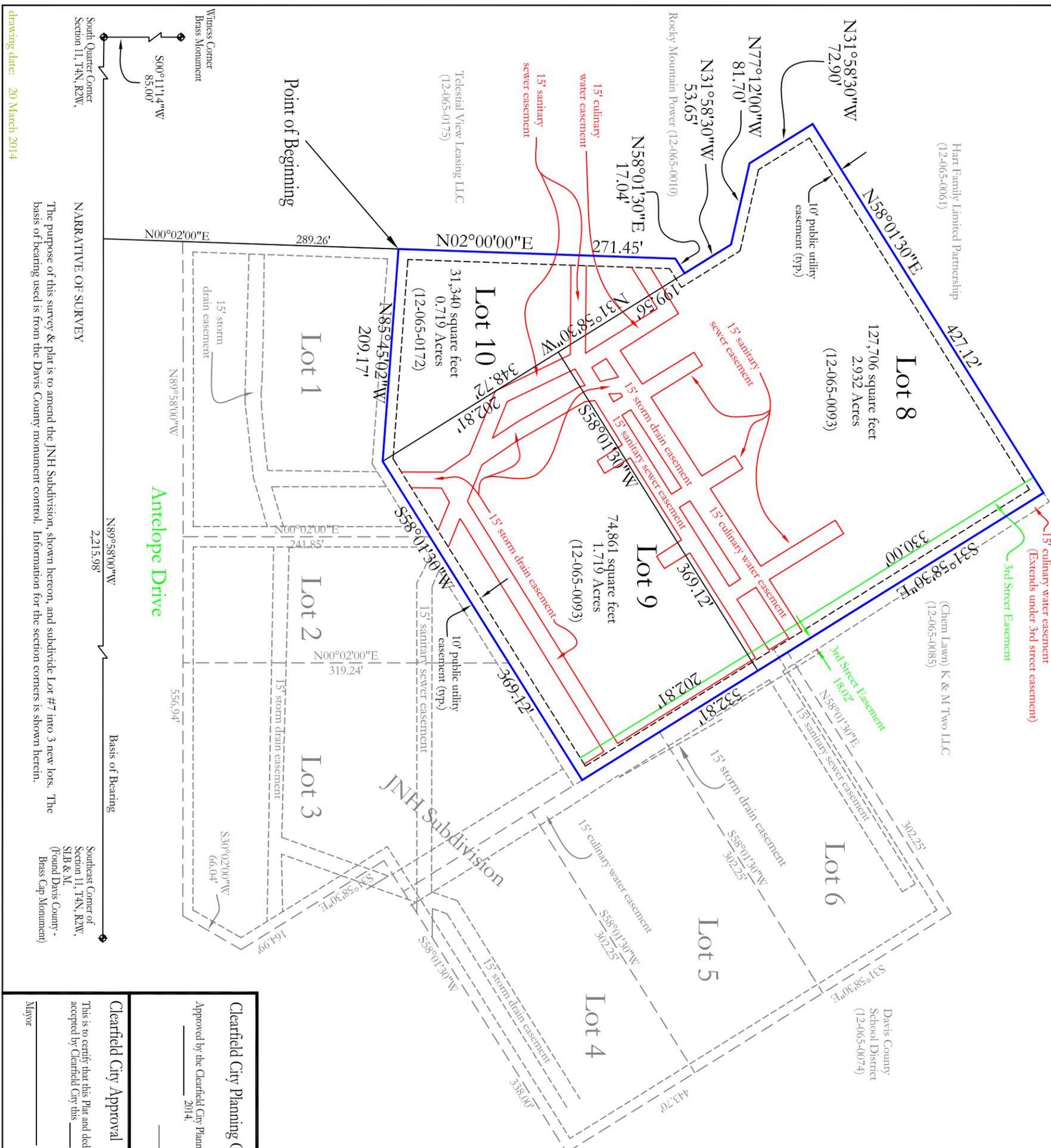
This Plat amendment does not vacate, alter, or change any existing utilities, easements, or land uses. As such, there are no conditions of approval recommended by staff. Staff recommends approval of JNH Subdivision – Amended – Lot #7 as proposed.

ATTACHMENTS

1. JNH Subdivision – Amended – Lot 7
2. JNH Subdivision Original 2007

JNH SUBDIVISION - AMENDED - LOT #7 (not to be recorded)

A Part of the Southeast 1/4 of Section 11, T4N, R2W, SLB&M,
 Clearfield City, Davis County, Utah
 March 2014



SURVEYORS CERTIFICATE

I, Dick N. Mechem, do hereby certify that I am a registered land surveyor, and that I hold license number 155649, as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have directed a survey of the tract of land as shown on this plat and described below and that the referenced markers shown on this plat are located as indicated and are sufficient to retrace or restore this survey, that the information shown herein is sufficient to accurately establish that lateral boundaries of the below described tract of real property and of each of the lots, located on said tract.

Signed this ____ day of _____ 2014.
 Dick N. Mechem
 License No. 155649

BOUNDARY DESCRIPTION

A part of the Southeast 1/4 of Section 11, T4N, R2W., SLB & M, Clearfield City, Davis County, Utah, US Survey and more particularly described as follows:

Beginning at a point which is N89°58'00"E 2,215.98 feet and N0°02'00"E 289.26 feet from the Southeast Corner of Section 11, T4N, R2W, SLB & M, as monumented and running:

Thence N02°00'00"E 271.45 feet, Thence N58°01'30"E 17.04 feet, Thence N31°58'30"W 53.65 feet, Thence N77°12'00"W 81.70 feet, Thence N31°58'30"W 72.90 feet, Thence N58°01'30"E 427.12 feet, Thence S31°58'30"E 532.81 feet, Thence S58°01'30"W 369.12 feet, Thence N85°45'02"W 209.17 feet to the Point of Beginning.

Contains: 233,907 square feet or 5.370 acres

OWNERS DEDICATION

We the undersigned owners of the hereon described tract of land, hereby set apart and subdivide the same tract into lots as shown on this plat, and name said tract JNH SUBDIVISION - AMENDED - LOT #7, and hereby dedicate, grant and convey to Clearfield City, Davis County, Utah, those certain strips designated hereon as public utility easements, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage as may be authorized by Clearfield City, with no building or structures being erected within such easements.

Signed this ____ day of _____ 2014.

North Davis Cabinet Inc.
 Wayne Rassmussen - President

ACKNOWLEDGMENT

State of Utah
 County of Davis
 On the ____ day of _____ 2014 personally appeared before me, the undersigned Notary Public, the signers of the above Owners Dedication, I in number, who duly sworn acknowledged to me that he signed the dedication freely and voluntarily and for the purposes therein mentioned.

Stamp

Notary Public

Clearfield City Planning Commission

Approved by the Clearfield City Planning Commission this ____ day of _____ 2014.

Chairman

City Attorney's Office

I have examined the foregoing Plat and descriptions and in my opinion they conform with the Ordinance applicable thereto and now in force and effect.

Approved by the City Attorney's Office this ____ day of _____ 2014.

City Attorney

Clearfield City Approval

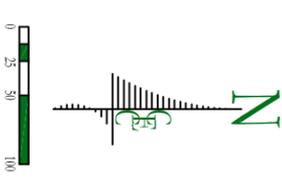
This is to certify that this Plat and dedication of this Plat were duly approved and accepted by Clearfield City this ____ day of _____ 2014.

Attest: _____ City Recorder

City Engineer

I hereby certify that I have carefully investigated the lines of survey of the foregoing plat and legal description of the lands embraced therein, and find them to be correct and agree with the ties and monuments on record in this office.

Signed this ____ day of _____ 2014. _____ City Engineer



DAVIS COUNTY RECORDER

Entry No. _____ fee paid _____
 recorded _____ in book _____ at _____
 of official records, page _____. Recorded for _____

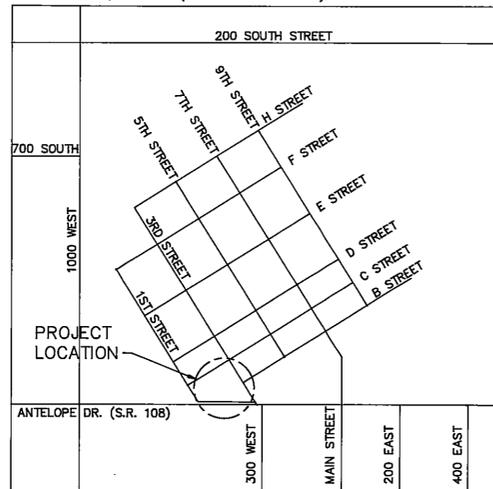
By: _____ County Recorder

The purpose of this survey & plat is to amend the JNH Subdivision, shown hereon, and subdivide Lot #7 into 3 new lots. The basis of bearing used is from the Davis County monument control. Information for the section corners is shown herein.

drawing date: 20 March 2014

5317

VICINITY MAP (NOT TO SCALE)



JNH SUBDIVISION
PART OF THE SOUTHEAST 1/4 OF SEC. 11, T4N, R2W, SLB&M,
CLEARFIELD CITY, DAVIS COUNTY, UTAH

SURVEYOR'S CERTIFICATE

O. NEIL SMITH, A REGISTERED LAND SURVEYOR IN THE STATE OF UTAH, DO HEREBY CERTIFY THAT THIS PLAT OF JNH SUBDIVISION IN DAVIS COUNTY, UTAH HAS BEEN CORRECTLY DRAWN TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE FOLLOWING DESCRIPTION OF LANDS INCLUDED IN SAID SUBDIVISION BASED ON DATA OBTAINED FROM RECORDS IN THE DAVIS COUNTY RECORDER'S OFFICE AND OF A SURVEY OF THE GROUND.

SIGNED THIS 10TH DAY OF OCTOBER

137231 LICENSE NO.



OWNER'S DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AS SHOWN ON THIS PLAT AND NAME SAID TRACT JNH SUBDIVISION AND ALSO DEDICATE TO CLEARFIELD CITY THOSE STRIPS AS EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF THE PUBLIC UTILITY SERVICE LINE AND DRAINAGE AS MAY BE AUTHORIZED BY CLEARFIELD CITY.

SIGNED THIS 5 DAY OF October, 2007

Signatures and names of owners: Harbertson Family LLC, North Davis Cabinet Inc., Jolley Freeport LLC, and Davis County School District.

ACKNOWLEDGEMENT

STATE OF UTAH COUNTY OF DAVIS

ON THE 5 DAY OF October, 2007 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF DAVIS IN THE SAID STATE OF UTAH, THE SIGNERS OF THE ABOVE OWNER'S DEDICATION, 6 IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THEY SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: 11-09-09, 2007.

Notary Public signature: Shawna Welm

BOUNDARY DESCRIPTION

A PART OF THE SOUTHEAST 1/4 OF SECTION 11, T4N, R2W, SLB & M, BEGINNING AT A POINT LOCATED N 89° 58' 00" W 2215.98 FEET, AND N 00° 02' 00" E 77.70 FEET FROM THE SOUTHEAST CORNER OF SECTION 11, T4N, R2W, SLB & M. RUNNING THENCE N 02° 00' 00" E 483.01 FEET, THENCE N 58° 01' 30" E 17.04 FEET, THENCE N 31° 58' 30" W 53.65 FEET, THENCE N 77° 12' 00" W 81.70 FEET, THENCE N 31° 58' 30" W 72.90 FEET, THENCE N 58° 01' 30" E 427.12 FEET, THENCE S 31° 58' 30" E 295.61 FEET, THENCE N 58° 01' 30" E 302.25 FEET, THENCE S 31° 58' 30" E 443.70 FEET, THENCE S 58° 01' 30" W 338.00 FEET, THENCE S 31° 58' 30" E 164.99 FEET, THENCE S 30° 02' 00" W 66.04 FEET, THENCE N 89° 58' 00" W 556.94 FEET, TO A POINT ON A 10,055 FOOT RADIUS CURVE TO THE LEFT 105.49 FEET (CHORD BEARS S 89° 43' 58" W 105.49 FEET) TO THE POB.

CONTAINS 12.40 ACRES.

BASIS OF BEARING IS THE N 89° 58' 00" W LINE OF THE SOUTH 1/4 CORNER OF THE SOUTHEAST SECTION 11, T4N, R2W, SLB & M.

NARRATIVE: THE PURPOSE OF THIS SURVEY IS TO PROVIDE THE NECESSARY DOCUMENTATION TO SECURE SALE OF LOTS 1 - 6. LOT 7 IS OWNED BY NORTH DAVIS CABINETS.

PREPARED BY: ONESCO ENGINEERING, INC. 105 SKYLINE DRIVE BRIGHAM CITY, UTAH 84302

NOTES:

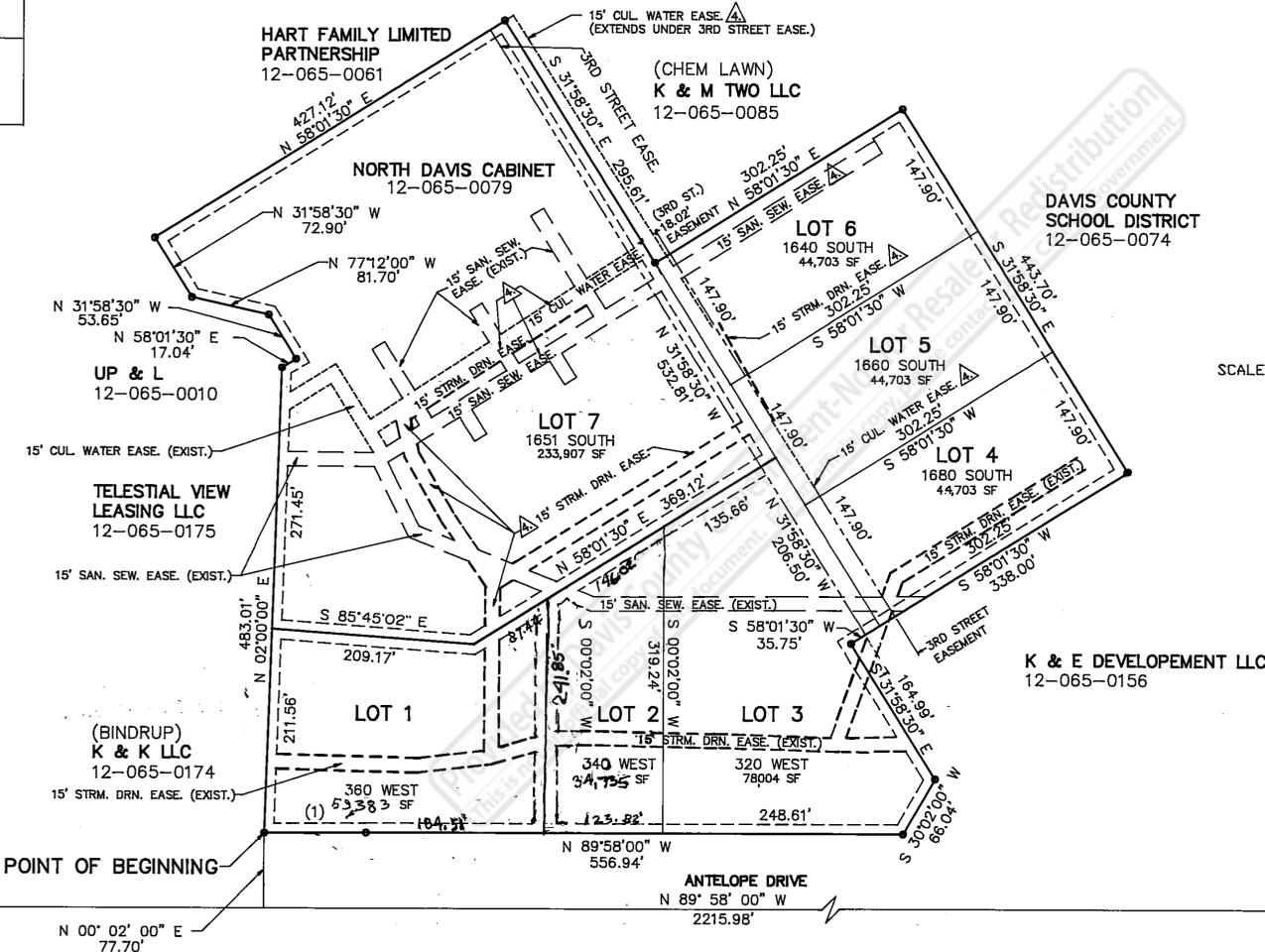
- 1. ALL UTILITIES SHOWN ON THIS PLAT ARE APPROXIMATE LOCATION ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.
2. PER CLEARFIELD CITY, ALL STREETS WITHIN THE FREEPORT WEST DEVELOPMENT, OF WHICH THE SURVEYED PROPERTY IS A PART, ARE PRIVATE ROADWAYS AND ARE NOT PUBLICLY DEDICATED RIGHT-OF-WAY. ALL OF SAID UNRECORDED PRIVATE ROADWAYS HAVE A PRESCRIPTIVE EASEMENT FOR THE BENEFIT OF THE OWNERS, TENANTS, AND ASSIGNS OVER ALL DRIVEABLE SURFACES.
3. PERIMETER AND PROPERTY LINE UTILITY EASEMENTS ARE 10 FEET.

ALL EXISTING EASEMENTS ARE 15 FEET. SOME EASEMENT LINES HAVE NOT BEEN SHOWN FOR CLARITY.



CURVE DATA

Table with columns: NO., DELTA, RAD, ARC, TAN, CHORD, CHORD BRNG. Row (1) shows values for a curve with a delta of 00° 36' 04" and a chord of 105.49.



SCALE 1" = 100'

CLEARFIELD CITY PLANNING COMMISSION

APPROVED BY THE CLEARFIELD CITY PLANNING COMMISSION ON THE 15th DAY OF August, 2007.

Chairman signature: Walt

CLEARFIELD CITY APPROVAL

THIS IS TO CERTIFY THAT THIS PLAT AND DEDICATION OF THIS PLAT WERE DULY APPROVED AND ACCEPTED BY THE CITY OF CLEARFIELD, UTAH, THIS 23rd DAY OF October, 2007.



Mayor signature: Don Wood

CLEARFIELD CITY ENGINEER

I HEREBY CERTIFY THAT I HAVE CAREFULLY INVESTIGATED THE LINES OF SURVEY OF THE FOREGOING PLAT AND LEGAL DESCRIPTION OF THE LAND EMBRACED THEREIN, AND FIND THEM TO BE CORRECT AND TO AGREE WITH THE LINES AND MONUMENTS ON RECORD IN THIS OFFICE.

SIGNED THIS 15th DAY OF October, 2007.

City Engineer signature: N. Scott Nelson

CLEARFIELD CITY ATTORNEY

I HAVE EXAMINED THE FOREGOING PLAT AND DESCRIPTION OF JNH SUBDIVISION AND IN MY OPINION, THEY CONFORM WITH THE CITY ORDINANCES APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.

City Attorney signature: Tina Brown

DAVIS COUNTY RECORDER

ENTRY NO. 2762305 FEE PAID \$39.00 FILED FOR RECORD AND RECORDED Aug. 23, 2013 AT 1:22PM IN BOOK 5838 OF OFFICIAL RECORDS, PAGE 627. FOR: CLEARFIELD CITY, DAVIS COUNTY RECORDER. BY: DEPUTY